



City and Borough of Wrangell
Planning and Zoning Commission
AGENDA

Thursday, March 14, 2019
6:00 PM

Location: Borough Assembly Chambers
City Hall

Planning and Zoning Commission - Regular Meeting
6:00 PM

CALL TO ORDER / ROLL CALL

AMENDMENTS TO THE AGENDA

APPROVAL OF MINUTES:

- a. Approval of the Minutes from the February 14, 2019 Regular Meeting

PERSONS TO BE HEARD

CORRESPONDENCE

OLD BUSINESS

NEW BUSINESS

- b. **(PH)** Conditional Use permit for a home occupation to operate a residential daycare on Lot 7G, Mt. Dewey Farm Addition, zoned Single Family Residential, requested by Victoria Smith, owned by Michelle Massin (WITHDRAWN).
- c. **(PH)** Variance permit request for back yard setback for an open carport on Lot 2B, Block 27, USS 1119, zoned Single Family Residential, requested and owned by Ronald Merritt.
- d. Final Plat Approval of the Presbyterian Reserve Replat, a replat of Lot 1B, Block 16, Ogden/Rathke Resubdivision and portion of Presbyterian Mission Reserve, Block 16, within USS 1119, Creating Lots A and B, Presbyterian Reserve Replat, zoned Open Space/Public, owned by the First Presbyterian Church.
- e. Review of DRAFT Hospital Drawings
- f. Discussion of city land available for development and potential rezones.
- g. Final Plat Approval of the 5 Star Fish Subdivision, a Subdivision of Lot 3A-1, Myers/Roberts Replat and Subdivision, Plat 99-10; creating Lots 3A-1A and 3A-1B, Block A, 5 Star Fish Subdivision, zoned Single Family Residential, requested by Chad and Sharil Smith

PUBLIC COMMENT

COMMISSIONERS'REPORTS AND ANNOUNCEMENTS

ADJOURNMENT

City and Borough of Wrangell, Alaska

WRANGELL PLANNING AND ZONING COMMISSION

February 14, 2019

6:00pm

Minutes

A. CALL TO ORDER/ROLL CALL: Chair Terri Henson called the meeting to order at 6:00 pm. Commissioners Don McConachie, Apryl Hutchinson, and Andrew Hoyt were present. There is currently 1 vacancy on the Commission. Also present were staff Carol Rushmore.

B. AMENDMENTS TO THE AGENDA: None

C. APPROVAL OF MINUTES:

Regular Meeting January 10, 2019

M/S: McConachie/Hutchinson moved to approve the minutes as presented.

Motion approved unanimously by poll vote.

D. PERSONS TO BE HEARD:

Haig Demerjian called in as a Person To Be Heard and will speak under that agenda item.

E. CORRESPONDENCE: None

F. OLD BUSINESS: None

G. NEW BUSINESS

1. Final Plat approval of the Curleyville Replat, a replat Lots 6, 7, 8, 9, 10, 32, 33, 37, 3A, Block 21 and Lot B, Brig Replat, zoned Multifamily and Commercial, requested by Robert Armstrong, for Credit Shelter Trust.

M/S: McConachie/Hutchinson moved to approve Final Plat of the Curleyville

Replat, a replat of Lots 6, 7, 8, 9, 10, 32, 33, 37, 3A, Block 21 and Lot B, Brig Replat.

Motion approved unanimously by poll vote.

2. Variance request to reduce the required width of an access easement for a flag lot subdivision from 30' to 20' on proposed Lot 3A-1B, Block A 5 Star Fish Subdivision, zoned Single Family Residential, requested by Chad and Sharil Smith.

Public Hearing for items G2 and G3 was opened at 6:04 p.m.

No comments from the public.

Public Hearing closed at 6:05 p.m.

M/S: McConachie/Hoyt moved approve the variance request, reducing the 30' flag lot easement requirement to 20' wide on proposed lot 3A-1B, Block A, 5 Star Fish Subdivision zoned Single Family Residential, requested by Chad and Sharil Smith.

Motion approved unanimously by poll vote.

3. Preliminary Plat Review of the 5 Star Fish Subdivision, a Subdivision of Lot 3A-1, Myers/Roberts Replat and Subdivision, Plat 99-10; creating Lots 3A-1A and 3A-1B, Block A, 5 Star Fish Subdivision, zoned Single Family Residential, requested by Chad and Sharil Smith.

M/S: McConachie/Hutchinson moved to approve the preliminary plat of the 5 Star Fish Subdivision, a Subdivision of Lot 3A-1, Myers/Roberts Replat and Subdivision, Plat 99-10; creating Lots 3A-1A and 3A-1B, Block A, 5 Star Fish Subdivision with the following conditions: An access easement and maintenance agreement will be recorded for both lots at the time of the recording of the final plat.

Rushmore stated that the easement and maintenance agreement are requirements of the flag lot subdivision in the code.

Hoyt asked about if the lot is divided and sold, would setbacks be met if a structure is built. Rushmore stated that the base structure is already there to be added to.

Motion approved unanimously by poll vote.

4. Proposed Ordinance No. 956,957, and 958 of the Assembly of the City & Borough of Wrangell, Alaska amending Chapter 9.08, Nuisances, Section 20.52.060, Noise, and Chapter 1.20, General Penalty, of the Wrangell Municipal Code

Public Hearing for item G4 was opened at 6:11 p.m.

Haig Demerjian called in with his support for these proposed ordinances. He had a question on Ordinance 957, exemption 7 and 8. On exemption 7, he would like to see zone-specific tools and activities referenced or listed. On exemption 8 there was a question on the wording about districts and if those are defined. If not, they should be. Additionally, he had a question about the decibel level measurement and how to measure, how can measure, and where to measure from, as well as if the police would have measurement equipment.

Public Hearing closed at 6:15 p.m.

M/S: McConachie/Hutchinson moved to recommend approval of proposed Ordinances 956, 957, and 958 of the City and Borough of Wrangell, Alaska, amending Chapter 20.52.060 Noise, Chapter 9.08 Nuisances, and Chapter 1.20 General Penalty, of the Wrangell Municipal Code with the following changes: Modifying Ordinance 957, Section 2 (C) Temporary Excessive Noise permit such that the Zoning Administrator can issue temporary permits up to 15 days and the Commission could grant up to 90 days.

Mr. Demerjian asked how enforcement of the measurement of decibels would occur and if a cell phone could be used. Rushmore stated that enforcement would be by purchased equipment by the police, not by an app or a resident. She also advised that the Commission to address Mr. Demerjian's comments, they would need to discuss the exemptions of types of tools or activities.

McConachie stated that the incidental times would not be the issue, but the prolonged or continued use would be the concern. He thinks that the issue was more the duration, a period of time, not the decibel level. Hoyt asked if prolonged usage would require a

permit. McConachie answered that a permit would not be a suggestion. The complaint needs to be documented with either time or decibel level.

Henson stated that even though this is complaint-driven, it will affect everyone in Wrangell from this point on. Residents may take a longer period to work on projects on their own property. Rushmore stated that the current code is decibel-driven, not duration-driven.

Hoyt had a question about specific equipment that might exceed the decibel level during renovations, for example. Rushmore stated that those particular items would be exempted during daytime hours due to construction exemption.

Henson stated that there may need to be other considerations or permits for a project that might need an extended period of time.

McConachie reminded the Commission that this is a broad ordinance and should remain an overview and not a specific list. Rushmore found online another community that defines power tools as any mechanically or gas-powered saw, drill, sander, grinder, lawn or garden tool, or similar device.

Hoyt stated that there shouldn't be a time limit other than the hours of operation that are currently in the proposed ordinance.

McConachie asked for the letter from Haig Demerjian to be forwarded to the Assembly with the Commission's recommendation.

Henson stated that under exemption #8 it was broadened to include normal maintenance on vessels. Rushmore stated that the Commission had discussed operation of vessels and this adds maintenance. Henson stated that residents should be able to maintain their own personal vessels on their property. McConachie added his support, citing that it should be between the hours noted in the ordinance.

Rushmore pointed out Section A, #2, that allows activities if the noise is muffled. She also reviewed the temporary permits that the Zoning Administrator could issue and that the Commission could issue for a longer period of time.

Hoyt asked about the worksession and Rushmore explained the process for changing the ordinance and why it is happening this way.

McConachie asked about exemption 8 and if there are definitions anywhere for maintenance activities.

After much discussion about section 8 and the recommended changes, definitions, and locations, the Commission agreed to remove "within harbors; or the maintenance on any vessel in a district zoned to allow this type of activity," add the word "personal" before "boat," and add the words "and/or maintenance" after the word "operation."

M/S: McConachie/Hutchinson moved to amend the motion to include the changes to Section 8 of Ordinance #957 and include the staff recommendations for section 9.

Amended Motion approved unanimously by poll vote.
Main Motion approved unanimously by poll vote.

5. Update regarding Mental Health/USFS land trade issues

Rushmore provided an update to the drawings to carve out land that will remain with AMHT due to forest debris, an old rock quarry, and waterfront development, as well as an easement the surveyors have requested.

H. PUBLIC COMMENT: None

I. COMMISSIONERS' REPORTS AND ANNOUNCEMENTS: McConachie reminded the public that we are still looking for a 5th person for the Commission.

J. ADJOURNMENT: 7:06 p.m.

CHAIRPERSON

SECRETARY

City and Borough of Wrangell, Alaska

Agenda Item G1

Date: January 9, 2019

To: Planning and Zoning Commission

From: Carol Rushmore, Economic Development Director

Re: WITHDRAWN

Review:

The applicant applied for a conditional use permit for an unlicensed daycare (4 kids) in the house she is renting from Michelle (Shelley Massin).

Ms. Massin originally signed off on the application as the landowner but on Monday, March 11, 2019 she submitted a letter saying that she no longer supported the application as she did not want a business in the house.

Unless the applicant and owner can work out the issues, the application for the business is withdrawn. Ms. Smith needs some time for her clients to find other care for the kids, but she will discontinue the daycare once other arrangements have been made.

City and Borough of Wrangell, Alaska

Agenda Item G2

Date: January 9, 2019

To: Planning and Zoning Commission

From: Carol Rushmore, Economic Development Director

Re: Variance permit request for back yard setback for an open carport, Lot 2B, Block 27, USS 1119, zoned Single Family Residential, requested and owned by Ronald Merritt.

Review:

The applicant is requesting setback variance for an open sided carport.

Recommendation:

Staff recommends approving the setback request

Recommended Motions:

- 1) Move to approve findings of facts and an 8 foot back yard setback (12 foot variance) for the proposed car port.**

Criteria:

The proposal must comply with the following sections:

Chapter 20.16: Single Family Residential

Chapter 20.52: Lot Standards

Chapter 20.72: Variances

Findings:

Front and back yard setback requirement for Single Family District is 20 feet. The particular lot of concern has a right-of-way on both the front and backyard property lines, thus the lot has two front yards or two backyards and each should have a 20 foot setback. The residence's address is on Zimovia Highway and the front faces Zimovia Highway. Zimovia Avenue borders what the landowner considers the back of the property and purposes of this application are considering the request for a backyard setback.

The applicant is seeking to construct a 16' X 20' carport behind the existing residence. A driveway from Zimovia Highway and ramp was put in several years ago to provide access to the back door if physical issues should become an issue in the future. They are now seeking to add a carport. Two out buildings

were removed and according to the applicant, the original shed was set 8' from Zimovia Avenue. They are proposing to construct no further to the Zimovia Avenue ROW than the original shed.

Zimovia Avenue is currently not on the Borough's list of road improvements as there is only one new lot that would be accessed if a new road and sewer/water extension was constructed, thus at this time, it is not economical to extend the road.

A variance must meet four criteria:

1. Exceptional Physical Circumstances: The property is moderately sloped and the primary access is lower than the existing residence, forcing the occupants to climb stairs to their front door. Vehicular access was only to the front of the property until a few years ago when a driveway to the back was constructed due to potential physical impairment concerns for the elderly occupants.
2. Strict application would result in practical difficulties or unnecessary hardships: Strict application would result in no covered parking area. The structure is open walled but would provide coverage for the aging applicants when used during inclement weather.
3. That the granting of the variance will not result in prejudice to others, or be detrimental to public health, safety or welfare: The granting of the variance will not prejudice others in the area. The variance request will not be detrimental to public health, nor should it impact adjacent neighbors within the same district. The structure is open walled and should not inhibit site views on Zimovia Avenue in the future should the road ever be constructed.
4. Granting of the variance is not contrary to the comprehensive plan for single family residential development.

APPLICATION FOR VARIANCE

CITY OF WRANGELL
PLANNING AND ZONING
P.O. BOX 531
WRANGELL, AK 99929
Application Fee \$50.00

- I. The undersigned hereby applies to the City of Wrangell for a variance.
II. Description: (use additional paper if necessary)

Legal description of the area requested for the variance Lot 2B of the
subdivision plat of block 27, Wrangell Townsite

Lot (s) size of the petition area

108 ft by 126.88 ft by 100 ft by 154.5 ft

Existing zoning of the petition area Single family

Current zoning requirements that cannot be met (setbacks, height, etc.):

20 ft setbacks from Zimovia Avenue

Proposed change that requires this variance

To be allowed 8 ft setback where my property borders
Zimovia Avenue

- III. Application information: (use additional paper if necessary)

Explain details of the proposed development See Attached

A variance may be granted only if all four of the following conditions exist:

That there are exceptional physical circumstances or conditions applicable to the property or to its intended use or development which do not apply generally to the other properties in the same zone.

That the strict application of the provisions of this ordinance would result in practical difficulties or unnecessary hardships.

That the granting of the variance will not result in material damage or prejudice to other properties in the vicinity nor be detrimental to the public health, safety or welfare.

That the granting of the variance will not be contrary to the objectives of the Comprehensive Plan.

Explain how your application meets these conditions:

Note: A variance shall not be granted because of special conditions caused by actions of the person seeking relief or for reasons of pecuniary hardship or inconvenience. A variance shall not be granted which will permit a land use in a zone in which that use is prohibited.

A schematic site plat must be attached showing the type and location of all Proposed uses on the site, and all vehicular and pedestrian circulation patterns relevant to those uses.

I hereby affirm that the above information is true and correct to the best of my knowledge. I also affirm that I am the true and legal property owner or the authorized agent thereof for the property subject herein.

Ronald Merritt
PRINT PETITIONER'S NAME

Ronald Merritt
SIGNATURE (S) OF THE OWNER(S) OF THE LAND IN PETITION AREA

914 Zimovia Highway, Wrangell, AK
ADDRESS

2/13/19
DATE

907 305 0511
TELEPHONE

PROPOSED VARIANT CHANGE

III. I request a setback of eight feet instead of twenty feet from my property to the boundary of Zimovia Avenue which borders the back of my property. I did have two small outbuildings in that area which were torn down to be replaced by a proposed sixteen by twenty foot open carport. Setback from my neighbor, Todd Torvend, lot 2A 27, would be ten feet. No other neighbors would be affected. I propose to use the original setback of the shed, which was torn down, which was eight feet from Zimovia Avenue.

Several years ago, I wanted access to my back property and asked if Zimovia Avenue was going to be developed. I was told there was no plan to because the city did not want to put in sewer and water to the the odd shaped lot developing the avenue would give access to. To gain access to my property in back, in 2018, I had a road built to the area. Then I had a ramp built from the road to my house which would give my wife and I wheel chair access to our back door if that becomes necessary.

CONDITIONS

Number 1. The requested variance will have will no impact on other properties in the same zone.

Number 2. If strict application of the variance is enforced it would result in hardship for my wife and I. We are both elderly and need closer access to our property than in the past. At some time, one or both of us, may need wheelchair access which cannot be done from Zimovia Highway. The proposed carport would give access to the ramp already in place with a minimum of inconvenience such as snow removal.

Number 3. The proposed variance would not materially damage or be detrimental to properties in the area or cause health, safety, or welfare concerns to anyone.

Number 4. The variance is not contrary to the Comprehensive Plan.

CITY AND BOROUGH OF WRANGELL, ALASKA



1 inch = 125 feet
Date: 3/4/2019

Public Map

**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.
PROPERTY LINES ARE APPROXIMATE.**



City and Borough of Wrangell, Alaska

Agenda Items G3

Date: March 11, 2019

To: Planning and Zoning Commission

From: Carol Rushmore, Economic Development Director

Re: Final Plat Approval of the Presbyterian Reserve Replat, a replat of Lot 1B, Block 16, Ogden/Rathke Resubdivision and portion of Presbyterian Mission Reserve, Block 16, within USS 1119, Creating Lots A and B, Presbyterian Reserve Replat, zoned Open Space/Public, owned by the First Presbyterian Church.

Review:

The Presbyterian Church is seeking a replat to sell a portion of their property and to the adjacent landowner that uses their property for their parking. The preliminary plat was approved January 2019.

Recommendation:

Staff recommends approving the final plat.

Recommended Motions:

- 1) Move to approve the final plat of the Presbyterian Reserve Replat, a replat of Lot 1B, Block 16, Ogden/Rathke Resubdivision and portion of Presbyterian Mission Reserve, Block 16, USS 1119, Creating Lots A and B, Presbyterian Reserve Replat.**

CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ PRESBYTERIAN CHURCH OF WRANGELL REPRESENTATIVE
PORTION OF PRESBYTERIAN MISSION RESERVE

NOTARY'S ACKNOWLEDGMENT

U.S. OF AMERICA
STATE OF ALASKA
CITY AND BOROUGH OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND _____ ACKNOWLEDGED TO ME THAT _____ SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES HEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL, THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ TENNYA MORELLI
LOTS 1B, BLOCK 16

NOTARY'S ACKNOWLEDGMENT

U.S. OF AMERICA
STATE OF ALASKA
CITY AND BOROUGH OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND _____ ACKNOWLEDGED TO ME THAT _____ SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES HEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL, THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY THE ASSEMBLY

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF WRANGELL ASSEMBLY AS RECORDED IN MINUTE BOOK _____ PAGE _____ DATED _____ AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE _____ MAYOR, CITY AND BOROUGH OF WRANGELL
ATTEST: _____

CITY CLERK _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION

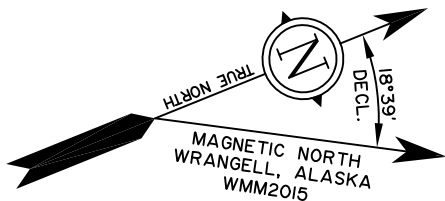
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF WRANGELL PLANNING COMMISSION, AND THAT SAID PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAT RESOLUTION NO. _____ DATED _____, 20____, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT MAGISTRATE, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE _____ CHAIRMAN, PLANNING COMMISSION
SECRETARY _____

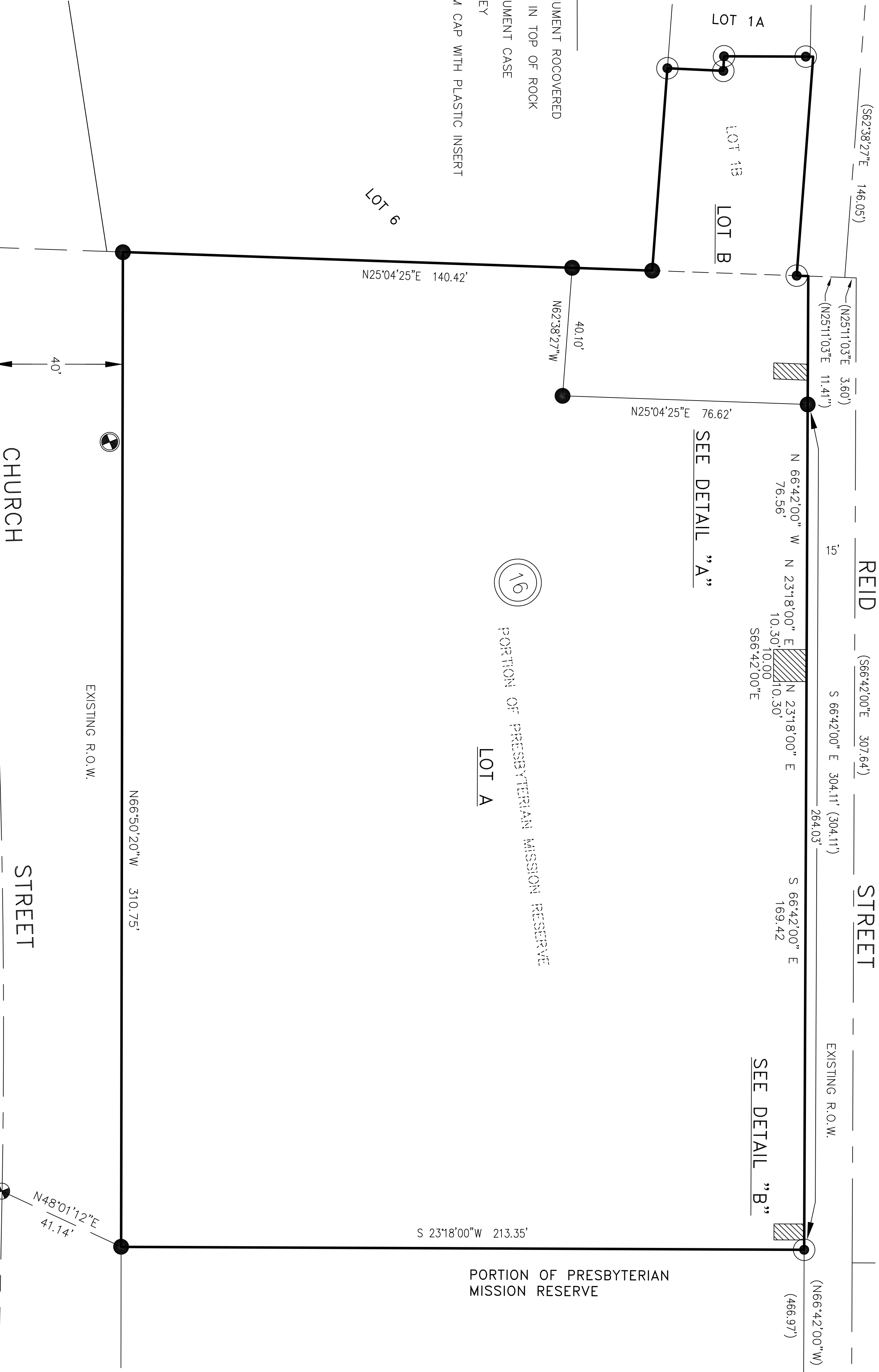
CERTIFICATE STATE OF ALASKA
(FIRST JUDICIAL DISTRICT)ss

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND AN ACTING ASSESSOR FOR THE CITY AND BOROUGH OF WRANGELL, HEREBY CERTIFY THAT ACCORDING TO THE RECORDS MAINTAINED BY ME, THE RECORDS OF THE DISTRICT COURT, EX-OFFICIO RECORDER, IN THE TAX RECORDS OF THE CITY AND BOROUGH OF WRANGELL, IN THE NAME OF _____ AND THAT ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS ARE PAID IN FULL; THAT CURRENT TAXES FOR THE YEAR 20____ WILL BE DUE ON OR BEFORE OCTOBER 15, 20____ DATED THIS _____ DAY OF _____

ASSESSOR CITY AND BOROUGH OF WRANGELL _____



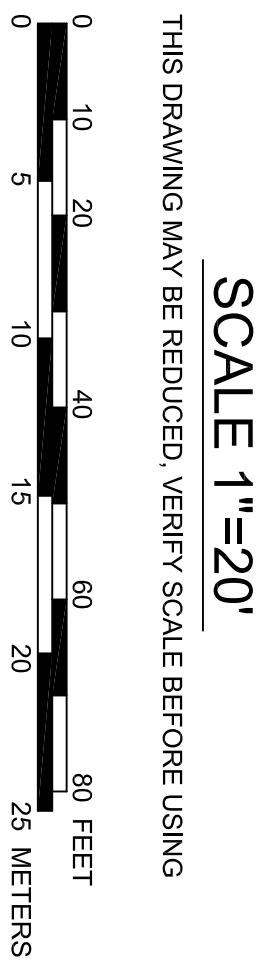
- LEGEND
- ALUMINUM CAP ON 5/8 REBAR MONUMENT RECOVERED
 - BRASS CAP (BENCHMARK) GROUTED IN TOP OF ROCK
 - DOT CENTERLINE MONUMENT IN MONUMENT CASE
 - ⊗ "X" IN ROCK RECOVERED THIS SURVEY
 - 5/8 REBAR 30" LONG WITH 2" ALUM CAP WITH PLASTIC INSERT SET THIS SURVEY
 - (88.09) DATA OF RECORD
 - 88.09 DATA MEASURED OR COMPUTED
 - PREVIOUS PROPERTY LINE
 - ROAD CENTERLINE
 - ▨ UTILITY EASEMENT



PLAT NOTES

1. THE PURPOSE OF THIS SURVEY IS TO COMBINE LOT 1B AND A PORTION OF PRESBYTERIAN MISSION RESERVE, CREATING LOT B. THE REMAINING PORTION OF PRESBYTERIAN MISSION RESERVE WILL BECOME LOT A.
2. REFERENCE THE FOLLOWING WITHIN THE WRANGELL RECORDING DISTRICT:
USS 859 (PRESBYTERIAN MISSION RESERVE)
MISSION HILL ADDITION (APPROVED NOV. 1, 1945)
USS 1119 (WRANGELL TOWNSITE PLAT)
DEED 1979-000246-0
PLAT 82-3 (PRESBYTERIAN RESERVE RESUBD)
PLAT 92-6 (REPLAT OF PRESBYTERIAN MISSION RESERVE)
PLAT 97-5 (ODGEN/RATHEK RESUBDIVISION)
PLAT 98-6 (REID STREET ROW)
DEED 2012-000225-0
DEED 2013-000172-0
3. REFERENCE AK, ESCROW AND TITLE INSURANCE AGENCY CERTIFICATE TO PLAT FILE NO. 55639.
4. ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARING AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL GROUND DISTANCES.
5. THE ERROR OF CLOSURE DOES NOT EXCEED 1:5000.

VICINITY MAP:
SCALE: NOT TO SCALE



1 METER = 3.2808333 U.S. SURVEY FEET
1 U.S. ACRE = 0.4047 HECTARES

WRANGELL RECORDING DISTRICT

No.	Date	Description
Revisions		



RSM ENGINEERING & CONSTRUCTION, INC.
7180 Reville Road
Ketchikan, AK 99901
WRANGELL OFFICE
P.O. BOX 701
WRANGELL, AK 99929

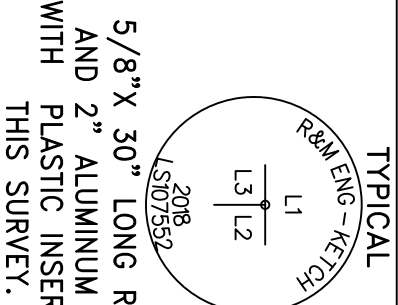
CERTIFICATE OF AUTHORIZATION # C576

PRESBYTERIAN RESERVE REPLAT

A REPLAT OF LOT 1B, BLK 16, ODGEN/RATHEK RESUBDIVISION AND PORTION OF PRESBYTERIAN MISSION RESERVE, BLK 16, WITHIN USS 1119, CREATING LOTS A & B, PRESBYTERIAN RESERVE REPLAT, WITHIN THE CITY AND BOROUGH OF WRANGELL.

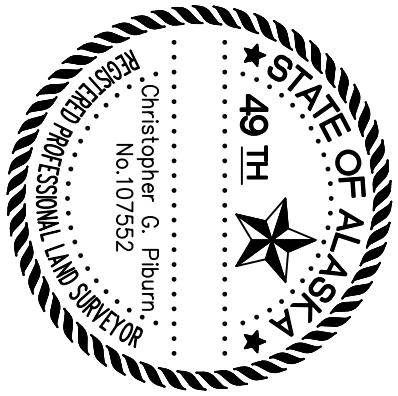
CLIENT: 1ST PRESBYTERIAN CHURCH
P.O. BOX 439
WRANGELL, ALASKA 99929

DRAWN BY: MCH
CHECKED BY: CBP
DATE PLATTED: 2018 / 2019
DATE SURVEYED: JUNE, 2018
SCALE: 1"=20'
SURVEYED BY: MCH
PROJ NO.: 182702

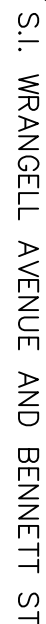
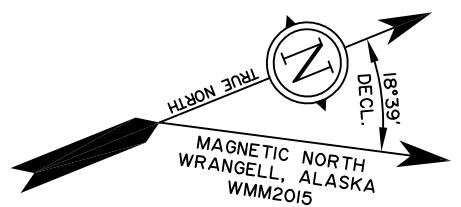


I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN 2018 A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

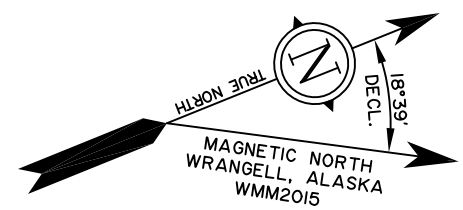
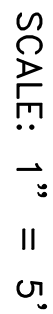
DATE _____ CHRISTOPHER G. FIBURN LS 107552



SCALE: 1" = 10'



BENNETT STREET



WRANGELL RECORDING DISTRICT	
Revisions	
	Description
3	

WRANGELL, ALASKA 99929

PROJ NO.: 182702

1. PORTION OF PRESBYTERIAN MISSION RESERVE (PRESBYTERIAN CHURCH OF WRANGELL)
2. LOT 1B (TENIYA MORELL)

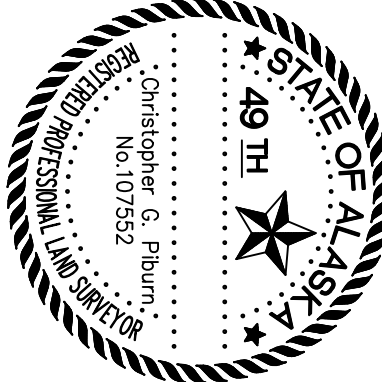
1. LOT A (PRESBYTERIAN CHURCH OF WRANGELL)
2. LOT B (TENIYA MORELL)

1. PORTION OF PRESBYTERIAN MISSION RESERVE (65,705)
2. LOT 1B (2,987 SQ. FT)

1. LOT A (61,691 SQ. FT.)
2. LOT B (6,005 SQ. FT.)

SURVEYOR'S CERTIFICATE

PAGE 2 OF 2



PRESBYTERIAN RESERVE REPLAT

BOROUGH OF WRANGELL.

City and Borough of Wrangell, Alaska

Agenda Item G4

Date: January 9, 2019

To: Planning and Zoning Commission

From: Carol Rushmore, Economic Development Director

Re: Review of DRAFT Hospital Foundation Drawings

Review:

Per WMC 3.44.130, the Planning and Zoning Commission are to review all plans and drawings. Staff have been working with SEARHC personnel and their contractor Dawson Engineering as they are gearing up to begin construction. Attached are excerpts of the DRAFT 70% complete drawings of the foundation plan. These are in the process of being reviewed by SEARHC engineers. Activities are moving fast, so while Borough staff will be reviewing plans, we wanted to provide an opportunity for the Commission to look at preliminary drawings for the hospital and ask questions or raise issues that you might have from your review.

Staff, per the conditions of approval for the Conditional Use Permt for a borrow pit, will be reviewing plans presented by the contractor in the near future. Transportation, drainage, and road conditions will be submitted prior to clearing and grubbing which is expected to start in early April. The blasting plan and pit reclamation will be submitted after a contractor for construction is awarded.

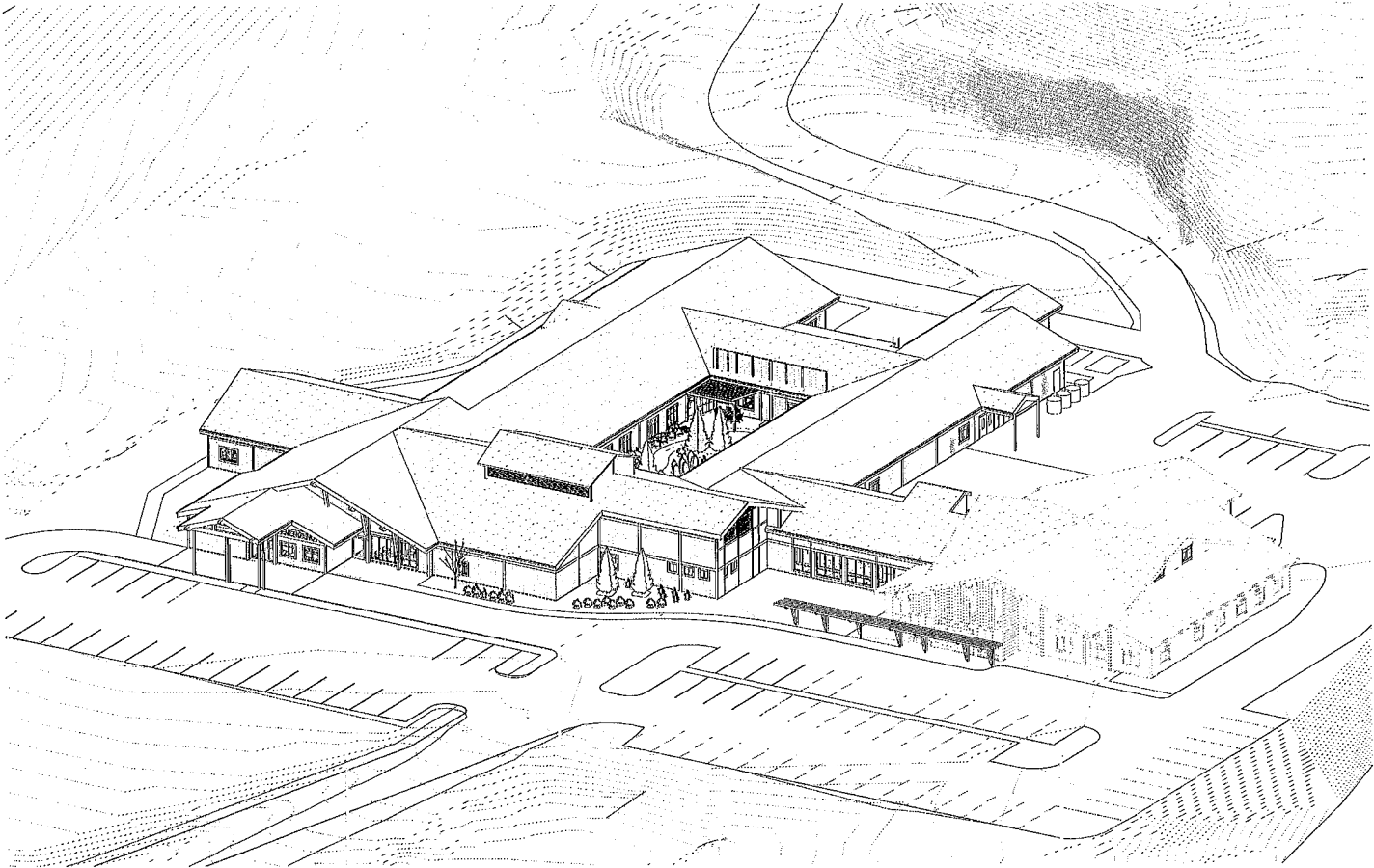
MN

Wrangell Health Campus

SEARHC

Wrangell, Alaska

SITE, FOOTINGS, AND FOUNDATION PACKAGE



DRAFT

ARCHITECTURAL

- A0.001 CODE ANALYSIS
- A0.101 CODE PLAN MAIN LEVEL
- A0.102 CODE PLAN MEZZANINE

CIVIL

- C100 EXISTING CONDITIONS / TEST PIT LOCATION
- C101 TEST HOLE DATA
- C102 TEST HOLE DATA
- C200 OVERALL CIVIL SITE PLAN
- C201 SOUTH PORTION CIVIL SITE PLAN
- C202 NORTHERN PORTION CIVIL SITE PLAN
- C203 NORTHWEST PARKING LOT CIVIL SITE PLAN
- C300 OVERALL SITE GRADING EROSION CONTROL PLAN
- C301 SOUTHERN PORTION GRADING PLAN
- C302 NORTHERN PORTION GRADING PLAN
- C303 SITE CROSS SECTIONS
- C304 SITE CROSS SECTIONS
- C305 SITE CROSS SECTIONS
- C306 STORM DRAINAGE PLAN
- C307 SITE DRAINAGE AND PAVING DETAILS
- C400 SITE UTILITY PLAN
- C401 UTILITY DETAILS

STRUCTURAL

- S1.101 GENERAL NOTES
- S1.102 SPECIAL INSPECTIONS
- S1.201 LOADING DIAGRAMS
- S1.202 ROOF WIND UPLIFT PLAN
- S1.301 TYPICAL DETAILS (FOUNDATION)
- S1.401 TYPICAL DETAILS (WOOD)
- S1.501 METAL STUD WALL TYPICAL DETAILS
- S1.601 TYPICAL DETAILS (CMU)
- S2.101 PARTIAL FOUNDATION PLAN
- S2.102 PARTIAL FOUNDATION PLAN
- S2.103 FOUNDATION PLAN FOR ALTERNATE #1 AND #3
- S2.104E FOUNDATION PLAN AT (EXISTING) AICS BUILDING
- S2.201 FOUNDATION SECTIONS
- S2.301 FOUNDATION DETAILS
- S2.401 FOUNDATION DETAILS
- S2.501E FOUNDATION SECTIONS AND DETAILS
- S3.101 PARTIAL ATTIC & ABOVE MECHANICAL ROOM CEILING FRAMING PLAN
- S3.102E MEZZANINE FLOOR FRAMING PLAN AT (EXISTING) AICS BUILDING
- S4.101 PARTIAL WOOD ROOF FRAMING PLAN
- S4.102 PARTIAL WOOD ROOF FRAMING PLAN
- S4.103 ROOF FRAMING PLAN FOR ALTERNATE #1 AND #3
- S4.104E ROOF FRAMING PLAN AT (EXISTING) AICS BUILDING
- S5.101 FRAMING ELEVATIONS
- S5.102 FRAMING ELEVATIONS

Wrangell Medical Center

232 Wood Street
Wrangell, Alaska 99929

SITE, FOOTINGS, AND
FOUNDATION PACKAGE

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldac.com | 651 227 7773

SEARCHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



**WOLD ARCHITECTS
AND ENGINEERS**
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldac.com | 651.227.7777

DRAFT

FOR REFERENCE ONLY

[illegible]

Comm: 188019
Date: 02/15/2019
Drawn: GB
Check: SM



**CODE PLAN MAIN
LEVEL**

Scale: As Indicated

A0.101

NEW 2 HOUR FIRE WALL
(AREA SEPARATIONS: 706.1, HORIZONTAL EXITS: 1025.1)
DOOR OPENINGS: 90 MIN.; < 25% LENGTH OF WALL
GLAZING: 90 MIN. 100 SQ. IN. MAX
DUCTWORK: 90 MIN. FIRE DAMPER

NEW 2 HOUR FIRE BARRIER
 (SHAFT ENCLOSURES: 707.3.1, HORIZ EXIT: 1025.1/707.111, OCCUPANCY SEPARATIONS: 506.4, INTERIOR EXIT STAIRWAY EXIT ACCESS STAIRWAY: 1022.2, 707.711)
 DOOR 90 MIN.
 OPENINGS 100 SQ IN MAX, 33" MAX HT, 10" MAX WIDTH
 GLAZING: 90 MIN, FIRE DAMPER
 DUCTWORK: 90 MIN FIRE/ SMOKE DAMPER (AT SHAFT ENCLOSURE)

NEW 1 HOUR FIRE BARRIER
 SHIELD ENCLOSURES: 707.3.1. INCIDENTAL USE AREAS: 509. OCCUPANCY SEPARATIONS:
 509.4. INTERIOR EXIT STAIRWAYS: EXIT STAIRWAY: 102.2. 707.7(1)

DOOR OPENINGS: 60 MIN. (SHIELD ENCLOSURES)
 60 MIN. (INCIDENTAL USE AREAS, OCCUPANCY SEPARATIONS)
 GLAZING: 60 MIN. OPENINGS: 160 SQ IN MAX, 3" MAX HT, 10" MAX WIDTH
 15 MIN. OPENINGS: 1256 SQ IN MAX, 54" MAX HT, 54" MAX WIDTH
 90 MIN. FIRE DAMPED HT REQUIRED WITH DUCTED HT (HAC)
 DUCTWORK: 90 MIN. FIRE SMOKE DAMPERS/VALVES/ENCLOSURES

NEW 1 HOUR SMOKE BARRIER
 (OCCUPANCY I-2, 407.6 / 709.3)

OPENINGS:	DOORS 20 MIN., WINDOWS 20 MIN.
GLAZING:	1296 SQ IN. 54" MAX WIDTH/ HEIGHT OR MAX SIZE TESTED
SUCTION WORK:	SMOKE DAMPER

NEW SMOKE PARTITION

(1018.1 WITH SPRINKLER SYSTEM)

OPENINGS:	0 MIN.
GLAZING:	0 MIN.
DUCTWORK:	CORRIDOR CANNOT BE USED AS SUPPLY, RETURN, EXHAUST, RELIEF OR VENTILATION AIR DUCTS.
NOTE:	RETURN AIR PLENUMS ARE ALLOWED. (1018.5.1)

EGRESS PATH

MIN TOTAL EXIT WIDTH
ACTUAL PROVIDED = 3

MIN TOTAL EXIT WIDTH REQ'D = 43"
 ACTUAL PROVIDED = 92"

MIN TOTAL EXIT WIDTH REQ'D = 26"
ACTUAL PROVIDED = 32"—————

-ACTUAL WIDTH PROVIDED = 68"

✓ MIN TOTAL EXIT WIDTH REQ'D = 50'
ACTUAL PROVIDED = 68"

MIN TOTAL EXIT WIDTH REQ'D = 5
ACTUAL PROVIDED = 92"

MIN TOTAL EXIT WIDTH REQ'D = 26'
ACTUAL PROVIDED = 34"

SMOKE ZONE 3
B OCCUPANCY
MIN TOTAL EXIT WIDTH REQ'D
TOTAL ACTUAL PROVIDED 258"

SMOKE ZONE 1 - 17,025 SF
I-2 OCCUPANCY
MIN TOTAL EXIT WIDTH REQUIRED = 50"
ACTUAL PROVIDED TOTAL = 456"

MIN TOTAL EXIT WIDTH REQ'D = 43'
ACTUAL PROVIDED = 44'

SMOKE ZONE 2 - 16,200 SF
I-2 OCCUPANCY
MIN TOEAEXIT WIDTH REQ'D = 43"
ACTUAL PROVIDED TOTAL = 296"

ACTUAL WIDTH PROVIDED = 92

MIN TOTAL EXIT WIDTH REQUIRED = 50'
ACTUAL PROVIDED = 44"

MIN TOTAL EXIT WIDTH REQ'D = 50'
ACTUAL PROVIDED = 92'

2 CODE PLAN - MAIN LEVEL

~~BUILDING A~~ BUILDING B

SMOKE ZONE PLAN

Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99829

#186019

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Seward Park, AK 99501

wold.com | 651 227 7773



R&M
R&M ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEOLOGISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed
CIVIL ENGINEER
ALASKA

License: Robert Badgett
Number: CE 12347 Date: 12/31/2019

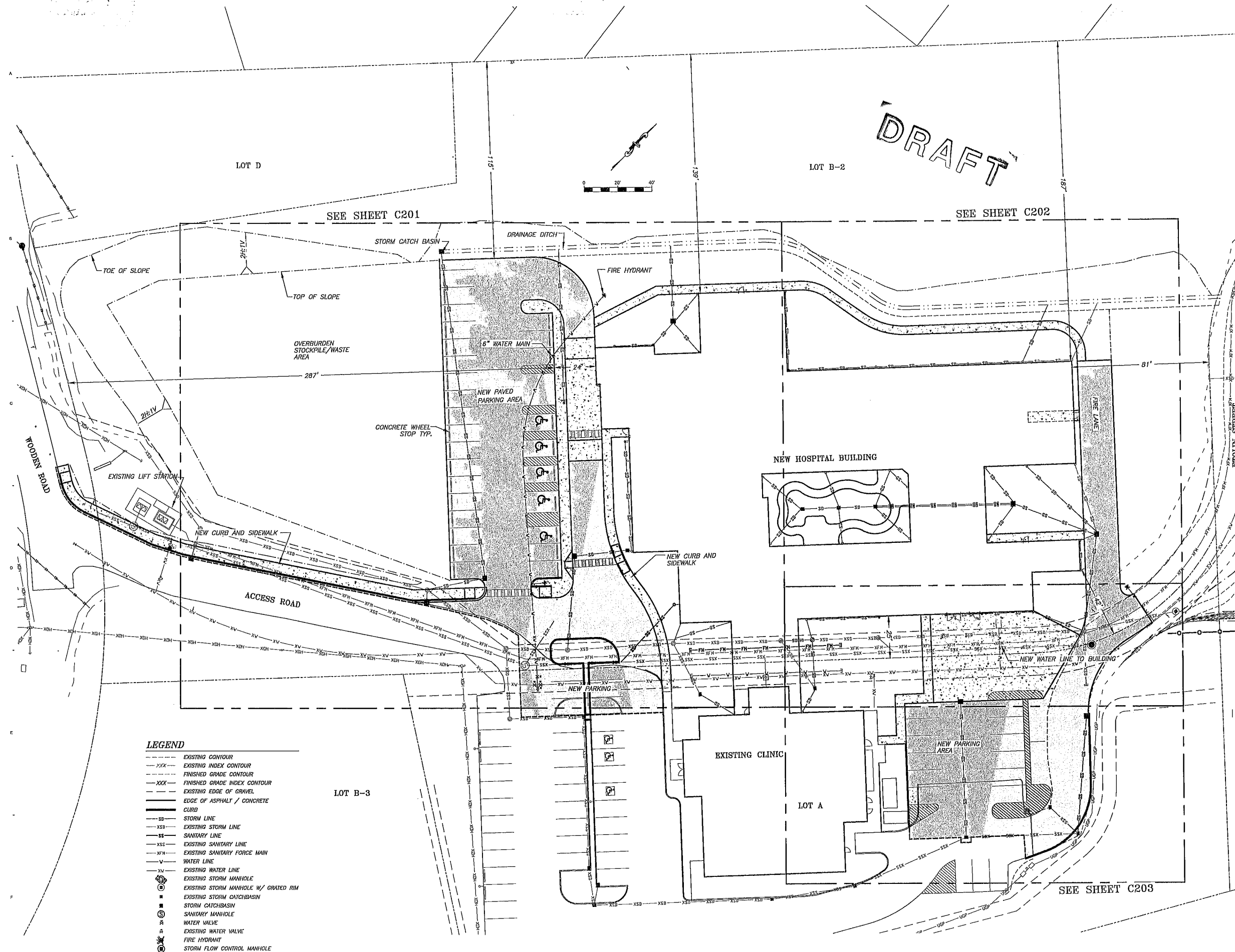
Revision	Date	By
1	02/01/2019	1

Comm:
Date: FEBRUARY 2018
Drawn: RKB
Check: TSB

Overall
Civil Site Plan

Scale:

C200



Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99929

#186019

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



WOLD ARCHITECTS
AND ENGINEERS
333 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldinc.com | 651 227 7773



R&M
RAM ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEOLOGISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed
CIVIL ENGINEER
under the laws of the State of ALASKA

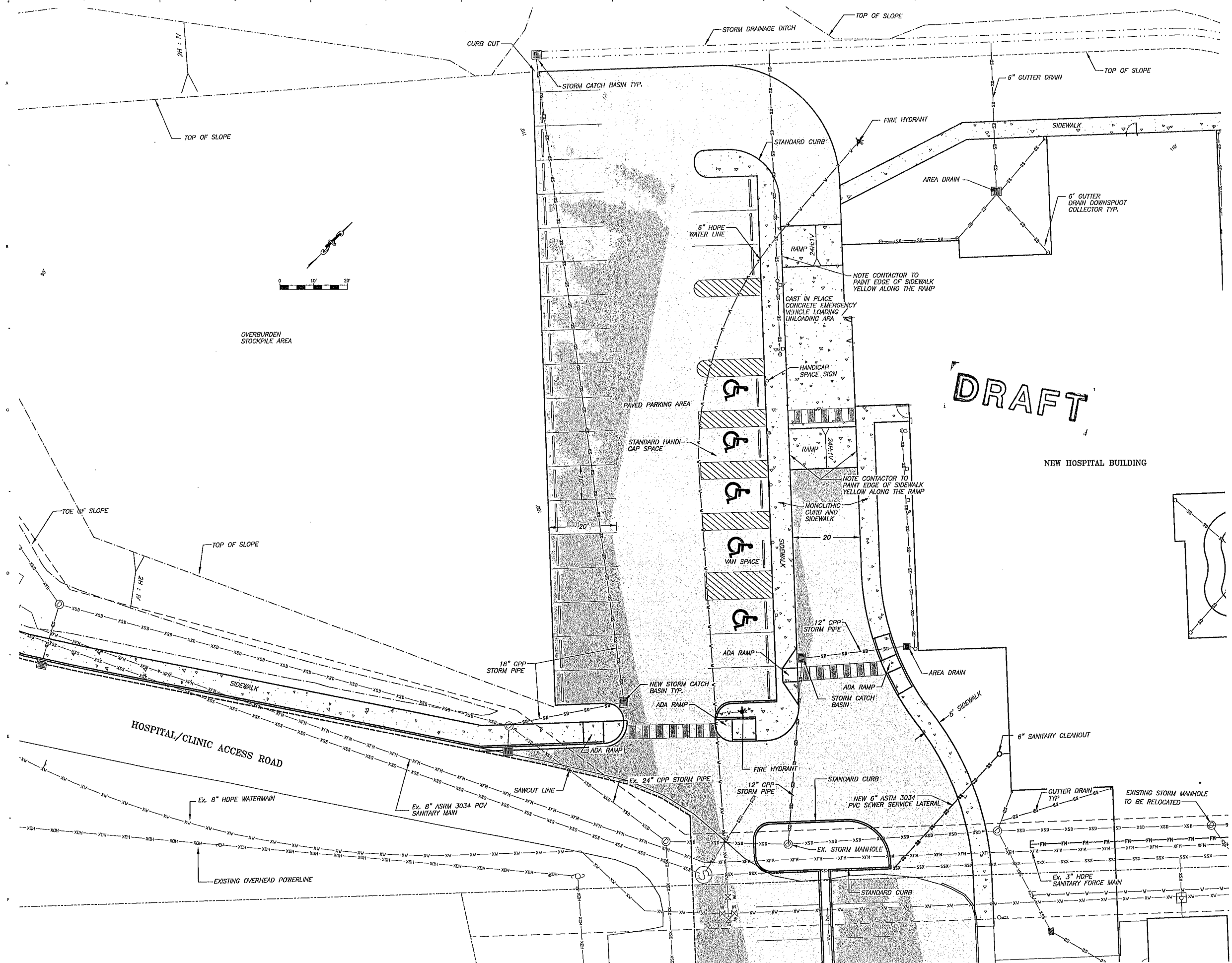
License Number: Robert Badgett
CE 12347 Date 12/31/2019

Revision	Date	By	Check
1	02/01/2019		

Comm: FEBRUARY 2019
Date: RMB
Check: TBS

South Portion
Civil Site Plan

C201



Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99829

#186019

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



WOLD ARCHITECTS
AND ENGINEERS
332 Main Street, Suite W2000
Safat Paul, MN 55101
woldac.com | 651 227 7773

DRAFT



R&M
R&M ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEOLOGISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed CIVIL ENGINEER under the laws of the State of ALASKA

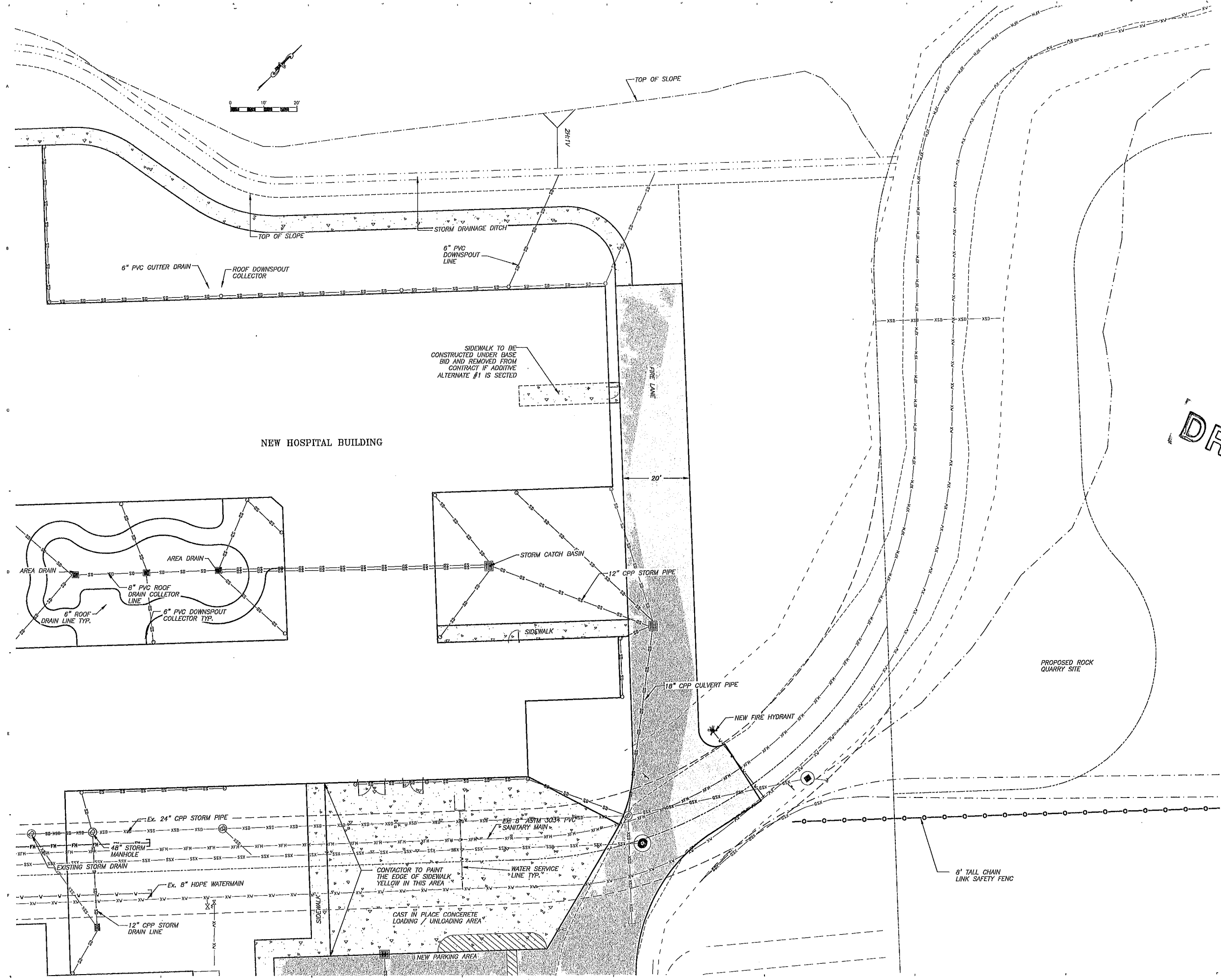
Licensee: Robert Badgett
Number: CE 12347 Date: 12/31/2019

Revision	Scale	Num
1	AS SHOWN	1
2		
3		
4		
5		
6		
7		
8		
9		
10		

Contract: FEBRUARY 2019
Date: N/A
Drawn: N/A
Check: TSS

Northern
Portion Civil
Site Plan

Scale:
C202



C203

Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99929

#186019

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801



WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Slate Park, MN 55101

woldae.com | 651 227 7773



R&M
R&M ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEODETISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed
Civil Engineer
under the laws of the State of Alaska

License Number: Robert Badgett
CE 12347 Date: 12/31/2020

Revisions		
Description	Date	Rev
SITE, FOOTINGS & FOUNDATION PACKAGE	02/01/2019	1

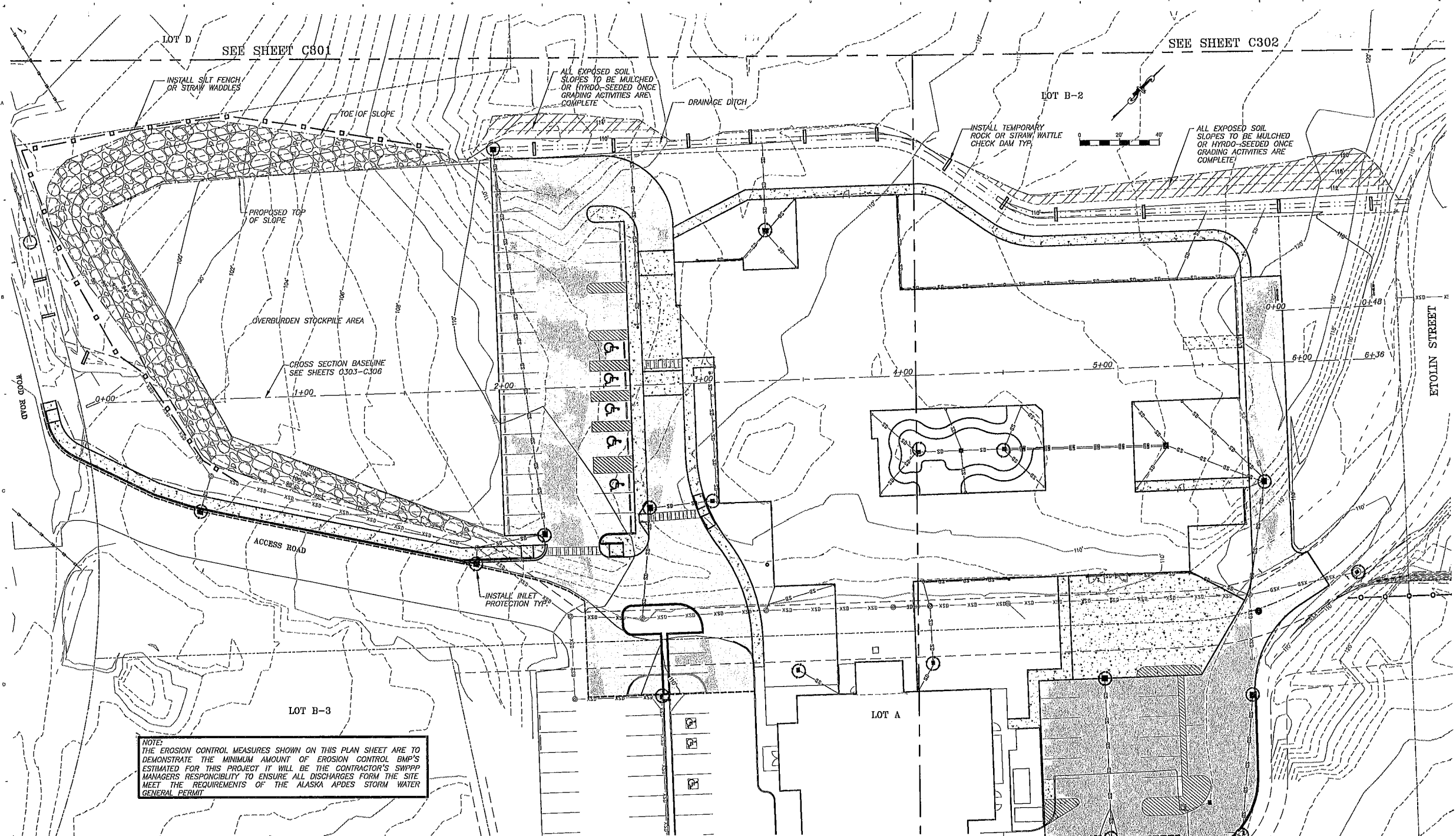
Comm: _____
Date: FEBRUARY 2019
Drawn: JKB
Check: TSS



Overall
Site Grading
Erosion
Control Plan

Scale:

C300



EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

- ALL BASE EROSION CONTROL MEASURES (INLET PROTECTION, PERIMETER SEDIMENT CONTROL, GRAVEL CONSTRUCTION ENTRANCES, ETC.) MUST BE IN PLACE, FUNCTIONAL, AND APPROVED IN AN INITIAL INSPECTION BY A REPRESENTATIVE OF THE OWNER, PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. FOR LINEAR PROJECTS BASE MEASURES CAN BE INSTALLED IN PHASES PRIOR TO COMMENCEMENT OF CONSTRUCTION IN EACH PHASE
- ALL "SEDIMENT BARRIERS (TO BE INSTALLED AFTER GRADING)" SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF FINISHED GRADE AS SHOWN ON THESE PLANS.
- LONG TERM SLOPE STABILIZATION MEASURES "INCLUDING MATING" SHALL BE IN PLACE OVER ALL EXPOSED SOILS BY OCTOBER 1.
- INLET PROTECTION SHALL BE IN-PLACE IMMEDIATELY FOLLOWING PAVING
- SEDIMENT BARRIERS APPROVED FOR USE INCLUDE: SEDIMENT FENCE, BERMES CONSTRUCTED OUT OF MULCH, CHIPPINGS, OR OTHER SUITABLE MATERIAL, STRAW WHITTLES, OR OTHER APPROVED MATERIALS.
- SEED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF SHADY AREA GRASS MIXTURE UNLESS OTHERWISE SPECIFIED
- SLOPE TO RECEIVE TEMPORARY OR PERMANENT SEEDING SHALL HAVE THE SURFACE ROUGHENED BY MEANS OF TRACK-WALKING OR THE USE OF OTHER APPROVED IMPLEMENTS. SURFACE ROUGHENING IMPROVES SEED BEDDING AND REDUCES RUN-OFF VELOCITY.
- LONG TERM SLOPE STABILIZATION MEASURES SHALL INCLUDE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER VIA SEEDING WITH APPROVED MIX AND APPLICATION RATE.
- TEMPORARY SLOPE STABILIZATION MEASURES SHALL INCLUDE: COVERING EXPOSED SOIL WITH PLASTIC SHEETING, STRAW MULCHING, WOOD CHIPS, OR OTHER ADEC APPROVED MEASURES.
- STOCKPILED SOIL OR STRIPPINGS SHALL BE PLACED IN A STABLE LOCATION AND CONFIGURATION. DURING "WET WEATHER" PERIODS, STOCKPILES SHALL BE COVERED WITH PLASTIC SHEETING OR STRAW MULCH. SEDIMENT FENCE IS REQUIRED AROUND THE PERIMETER OF THE STOCKPILE.
- EXPOSED CUT OR FILL AREAS SHALL BE STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AND MULCHING. EROSION CONTROL BLANKETS OR MATS, MD-SLOPE SEDIMENT FENCES OR WHITTLES, OR OTHER APPROPRIATE MEASURES. SLOPES EXCEEDING 25% MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES.
- AREAS SUBJECT TO WIND EROSION SHALL USE APPROPRIATE DUST CONTROL MEASURES INCLUDING THE APPLICATION OF A FINE SPRAY OF WATER, PLASTIC SHEETING, STRAW MULCHING, OR OTHER APPROVED MEASURES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES INCLUDING, BUT NOT LIMITED TO, TIRE WASHES, STREET SWEEPING, AND VACUUMING MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ACTIVE INLETS TO STORM WATER SYSTEMS SHALL BE PROTECTED THROUGH THE USE OF APPROVED INLET PROTECTION MEASURES. ALL INLET PROTECTION MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED.
- SATURATED MATERIALS THAT ARE HAULED OFF-SITE MUST BE TRANSPORTED IN WATER-TIGHT TRUCKS TO ELIMINATE SPILLAGE OF SEDIMENT AND SEDIMENT-LADEN WATER.
- AN AREA SHALL BE PROVIDED FOR THE WASHING OUT OF CONCRETE TRUCKS IN A LOCATION THAT DOES NOT PROVIDE RUN-OFF THAT CAN ENTER THE STORM WATER SYSTEM. IF THE CONCRETE WASH-OUT AREA CAN NOT BE CONSTRUCTED GREATER THAN 50' FROM ANY DISCHARGE POINT, SECONDARY MEASURES SUCH AS BERMES OR TEMPORARY SETTLING PITS MAY BE REQUIRED. THE WASH-OUT SHALL BE LOCATED WITHIN SIX FEET OF TRUCK ACCESS AND BE CLEARED WHEN IT REACHES 50% OF THE CAPACITY.
- SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE SHALL NOT BE TRANSFERRED TO THE STORM WATER SYSTEM. SWEEPINGS SHALL BE PICKED UP AND DISPOSED IN THE TRASH.
- AVOID PAVING IN WET WEATHER WHEN PAVING CHEMICALS CAN RUN-OFF INTO THE STORM SYSTEM.
- USE BMPs SUCH AS CHECK-DAMS, BERMES, AND INLET PROTECTION TO PREVENT RUN-OFF FROM REACHING DISCHARGE POINTS.
- COVER CATCH BASINS, MANHOLES, AND OTHER DISCHARGE POINTS WHEN APPLYING SEAL COAT, TACK COAT, ETC. TO PREVENT INTRODUCING THESE MATERIALS TO THE STORM WATER SYSTEM.
- THIS PROJECT MAY REQUIRE TEMPORARY DIVERSION OF THE DRAINAGE CHANNEL. THE CONTRACTOR SHALL NOT INHIBIT FLOW IN THE DRAINAGE CHANNEL. THE CONTRACTOR MAY USE ONE OF THE FOLLOWING OPTIONS FOR THE CHANNEL DIVERSION: INFLATABLE HYDRAULIC RUBBER DAMS, SAND FILLED PRODUCT BAGS, OR OTHER APPROVED MEASURES. BYPASSING FLOW AROUND THE DIVERSION BY GRAVITY IS PREFERABLE BUT PUMPING IS ALLOWED. PUMPS SHALL BE LOW NOISE AND SHALL MEET ALL LOCAL NOISE ORDINANCES. THE CONTRACTOR SHALL SUBMIT A DIVERSION PLAN AND MANAGEMENT STRATEGY FOR LOCAL JURISDICTION APPROVAL 1-WEEK PRIOR TO COMMENCING WORK.
- PRIOR TO BEGINNING ANY GRADING ACTIVITIES THE CONTRACTOR SHALL PREPARE A SWPPP PLAN PER THE ADEC STANDARDS AND OBTAIN AN APDES PERMIT.

DRAFT

Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99929

#186019

SEARCHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801

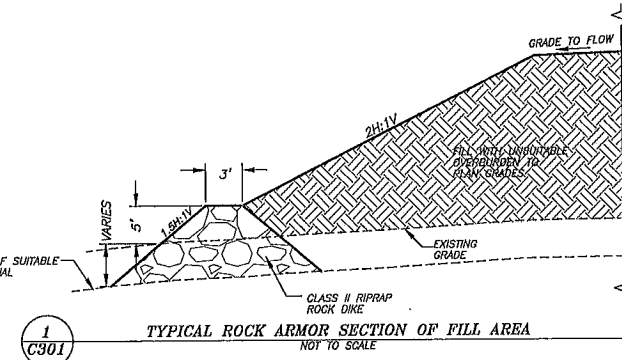


WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2009
Slate Pail, MN 55101

woldar.com | 651 227 7773

GRADING POINT TABLE			
POINT #	NORTHING	EASTING	ELEV.
G1	9972.54	10114.22	105.67
G2	10000.75	10139.30	108.43
G3	10008.16	10438.70	108.52
G4	10009.03	10437.77	108.45
G5	10008.81	10430.70	108.45
G6	9997.87	10420.44	108.60
G7	10071.23	10342.52	111.48
G8	10125.37	10285.02	110.37
G9	10164.49	10332.80	110.52
G10	10166.98	10372.28	111.16
G11	10139.93	10298.74	110.13
G12	10149.97	10390.34	111.79
G13	10085.79	10356.23	111.25
G14	10118.89	10426.27	111.72
G15	10110.67	10435.01	111.22
G16	10089.92	10457.03	110.92
G17	10134.62	10432.83	112.00
G18	10069.34	10500.60	110.48
G19	10068.77	10504.31	110.50
G20	10049.04	10543.87	111.20
G21	10041.00	10552.51	111.09
G22	10030.91	10563.28	111.07
G23	10000.15	10534.35	109.86
G24	10020.59	10512.54	110.30
G25	10034.66	10524.79	110.76
G26	10034.65	10505.23	110.54
G27	10011.89	10483.88	110.07
G28	10004.82	10484.11	110.10
G29	10001.49	10487.47	110.20
G30	10001.71	10494.74	110.25
G31	10018.06	10510.05	110.05
G32	9997.59	10531.89	109.75
G33	9970.35	10506.26	110.60
G34	10002.88	10471.56	109.93
G35	10000.65	10462.05	109.45
G36	9996.31	10451.66	108.78
G37	10034.49	10472.17	109.97
G38	10030.85	10468.76	109.84
G39	10027.26	10465.12	109.71
G40	10027.11	10458.12	109.96
G41	10028.19	10456.97	110.01
G42	10035.26	10456.74	110.26
G43	10015.11	10465.98	110.70
G44	10119.00	10387.50	111.70
G45	10131.40	10351.58	110.92
G46	10139.77	10343.59	110.77
G47	10139.60	10337.93	110.74
G48	10145.26	10337.76	110.63
G49	10149.37	10332.20	110.68
G50	10150.66	10363.35	110.92
G51	10136.86	10378.01	111.49
G52	10123.73	10391.95	111.80
G53	10138.29	10405.66	112.00
G54	10104.33	10412.56	111.41
G55	10048.61	10471.73	110.26
G56	10129.82	10282.36	107.88
G57	10266.47	10410.72	110.46
G58	10264.20	10415.52	111.00
G59	10283.71	10441.18	110.27
G60	10279.07	10431.15	111.00
G61	10162.38	10393.79	112.00
G62	10179.34	10409.76	112.00
G63	10175.91	10413.40	112.00
G64	10195.76	10432.08	112.00
G65	10219.44	10406.93	112.00
G66	10256.22	10441.57	112.00
G67	10224.00	10475.78	112.00
G68	10096.10	10421.30	110.91
G69	10085.00	10485.47	112.00
G70	10103.92	10503.36	112.00
G71	10075.16	10533.97	112.00
G72	10096.97	10554.51	112.00
G73	10145.09	10369.27	111.00
G74	10158.19	10381.61	111.29
G75	9941.00	10367.01	MATCH
G76	9904.66	10312.77	MATCH
G77	9895.96	10299.23	MATCH
G78	9887.22	10282.30	MATCH
G79	9872.58	10240.94	MATCH
G80	9874.98	10218.60	MATCH
G81	9880.24	10210.09	MATCH

*NOTE: ALL GRADES SHOWN AT THE EDGE OF ASPHALT ARE MEASURED TO THE TOP OF ASPHALT. ALL CURB OR SIDEWALK GRADES SHALL BE 0.5' HIGHER UNLESS OTHERWISE NOTED ON THE GRADING PLANS.



R&M
R&M ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEODESISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Civil Engineer under the laws of the State of Alaska.

License Number: Robert Budgett, CE 12347, Date: 12/31/2020

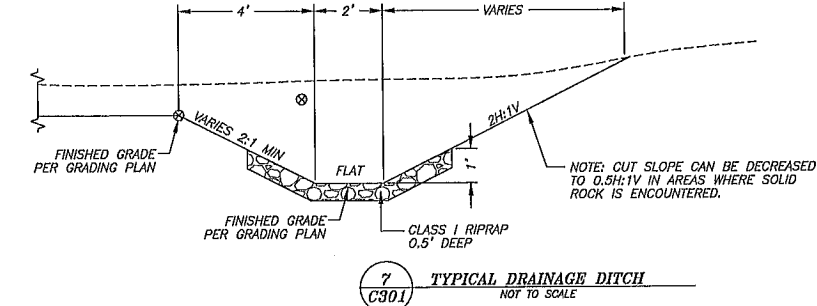
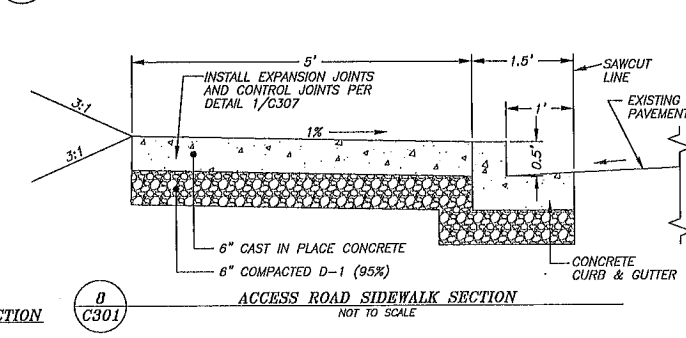
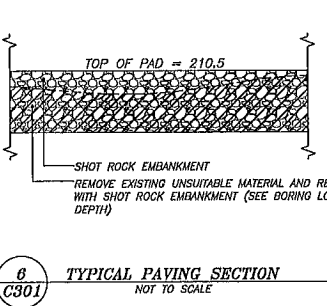
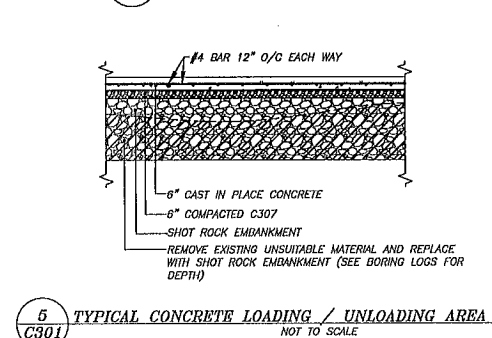
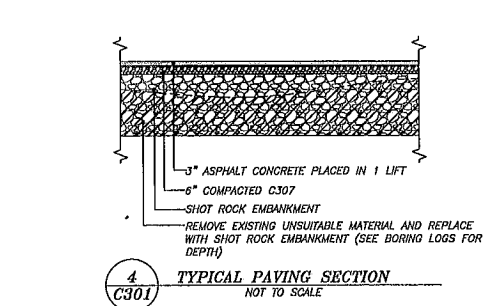
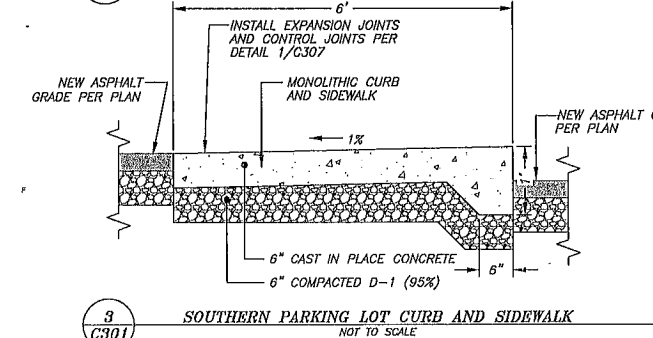
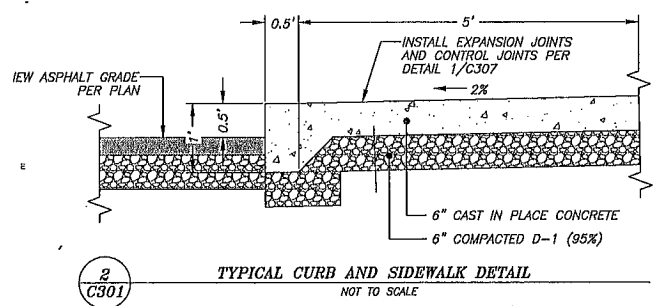
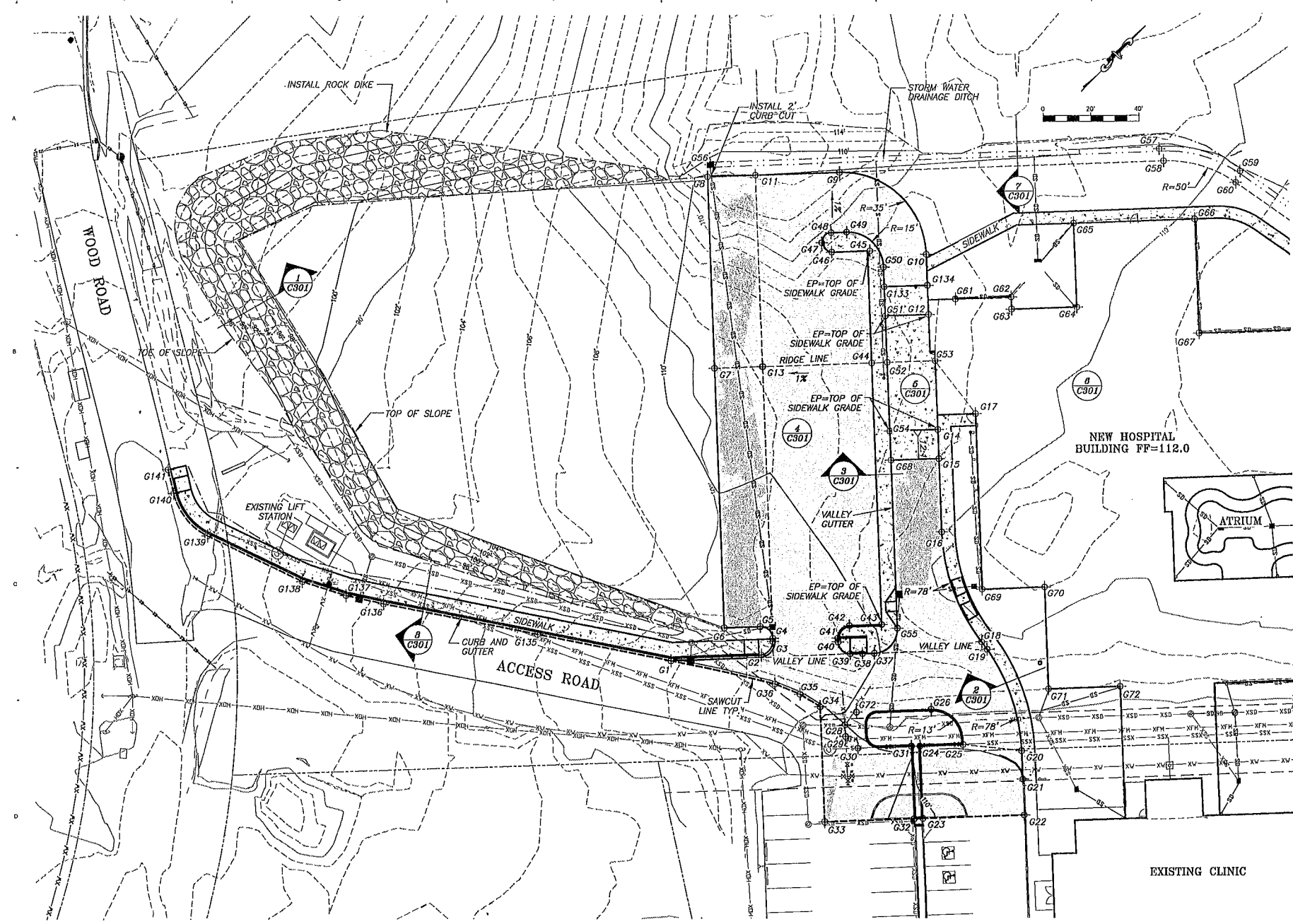
Revisions		
Revision	Date	Notes
1	02/01/2019	DATE FOOTING & FOUNDATION PACKAGE

Comm:
Date: FEBRUARY 2019
Drawn: RKB
Check: TSS
North

Southern Portion Grading Plan

Scale: **C301**

DRAFT



Wrangell Health
Campus

232 Wood Street
Wrangell, Alaska 99929

#186019

SEARHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801

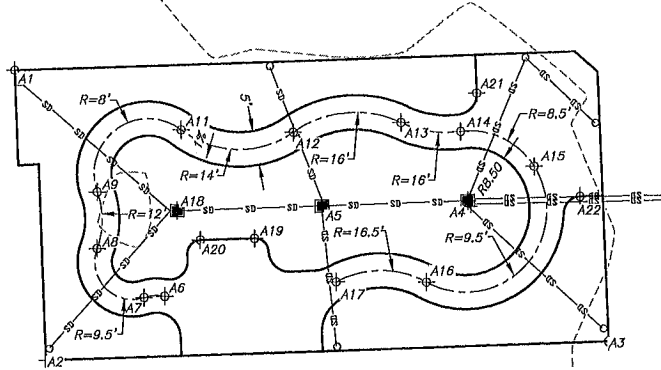


WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldae.com | 651.277.7773

NORTH PORTION GRADING POINTS							
POINT #	NORTHING	EASTING	ELEV.	POINT #	NORTHING	EASTING	ELEV.
G73	10286.46	10485.02	111.00	G104	10134.64	10660.50	111.58
G74	10291.12	10483.50	109.96	G105	10147.04	10672.13	111.39
G75	10296.63	10503.86	111.00	G106	10147.04	10672.13	111.89
G76	10300.22	10500.30	109.82	G107	10182.14	10634.70	112.00
G78	10383.01	10585.17	111.00	G108	10178.72	10638.35	111.90
G79	10434.11	10626.42	108.05	G109	10226.45	10676.42	112.00
G80	10362.89	10606.55	111.60	G110	10241.84	10660.08	112.00
G81	10348.32	10592.84	111.80	G111	10262.47	10679.51	112.00
G82	10346.05	10590.70	112.00	G112	10274.85	10666.36	112.00
G83	10305.34	10633.95	112.00	G113	10235.54	10629.35	112.00
G84	10328.73	10613.66	111.89	G114	10266.04	10596.95	112.00
G85	10324.61	10618.03	111.88	G115	10295.12	10682.98	109.30
G86	10281.49	10663.83	111.34	G116	10338.00	10665.69	110.00
G87	10272.14	10702.93	110.60	G117	10368.81	10650.83	110.12
G88	10274.71	10711.24	110.54	G118	10403.14	10634.42	109.91
G89	10251.91	10695.24	110.97	G119	10307.20	10758.48	104.10
G90	10270.44	10730.78	110.30	G120	10392.97	10844.10	110.00
G91	10253.38	10727.05	110.47	G121	10587.04	10703.18	122.95
G92	10235.57	10705.72	110.81	G122	10548.06	10690.83	120.04
G93	10232.55	10706.61	110.82	G123	10517.01	10673.31	116.02
G94	10207.92	10739.88	110.93	G124	10493.70	10670.23	112.04
G95	10206.58	10741.25	110.95	G125	10417.87	10731.50	110.04
G96	10194.13	10716.28	110.95	G126	10393.34	10740.53	109.98
G97	10178.07	10770.98	111.34	G127	10325.49	10744.85	109.65
G98	10132.07	10779.40	111.81	G128	10286.26	10738.13	108.93
G99	10120.71	10774.00	111.93	G129	10158.73	10683.08	110.74
G100	10129.51	10764.08	112.00	G130	10185.38	10708.07	111.06
G101	10104.69	10740.71	109.84	G131	10220.40	10670.72	112.00
G102	10080.51	10717.94	MATCH	G132	10262.50	10624.24	111.00
G103	10085.39	10713.03	111.29				

NOTE: ALL GRADES SHOWN AT THE EDGE OF ASPHALT ARE MEASURED TO THE TOP OF ASPHALT. ALL CURB OR SIDEWALK GRADES SHALL BE 0.5' HIGHER UNLESS OTHERWISE NOTED ON THE GRADING PLANS.



1
C302

ATRIUM GRADING PLAN
NOT TO SCALE

ATRIUM GRADING POINTS							
POINT #	NORTHING	EASTING	ELEV.	POINT #	NORTHING	EASTING	ELEV.
A1	10170.88	10507.16	112.00	A13	10205.56	10552.78	111.87
A2	10143.99	10540.07	112.00	A14	10210.84	10559.98	111.85
A3	10204.34	10596.90	112.00	A15	10214.84	10571.21	111.86
A4	10204.38	10567.81	111.70	A16	10191.63	10571.80	111.86
A5	10188.70	10553.05	111.40	A17	10182.27	10562.30	111.74
A6	10162.96	10545.88	111.88	A18	10173.16	10538.42	111.70
A7	10160.69	10543.87	111.88	A19	10178.31	10549.34	111.67
A8	10160.91	10533.95	111.88	A20	10172.49	10543.85	111.76
A9	10166.81	10528.18	111.87	A21	10216.48	10557.76	111.93
A11	10181.96	10530.57	111.87	A22	10216.44	10579.10	111.96
A12	10193.36	10542.51	111.76				

DRAFT



R&M
R&M ENGINEERING-KETCHIKAN, INC.
ENGINEERS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Civil Engineer under the laws of the State of Alaska

License: Robert Badgett
Number: CE 12087 Date: 12/31/2020

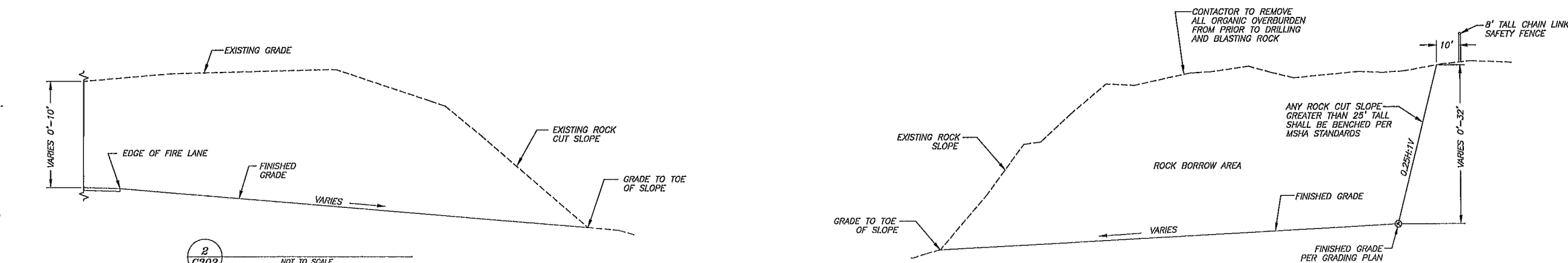
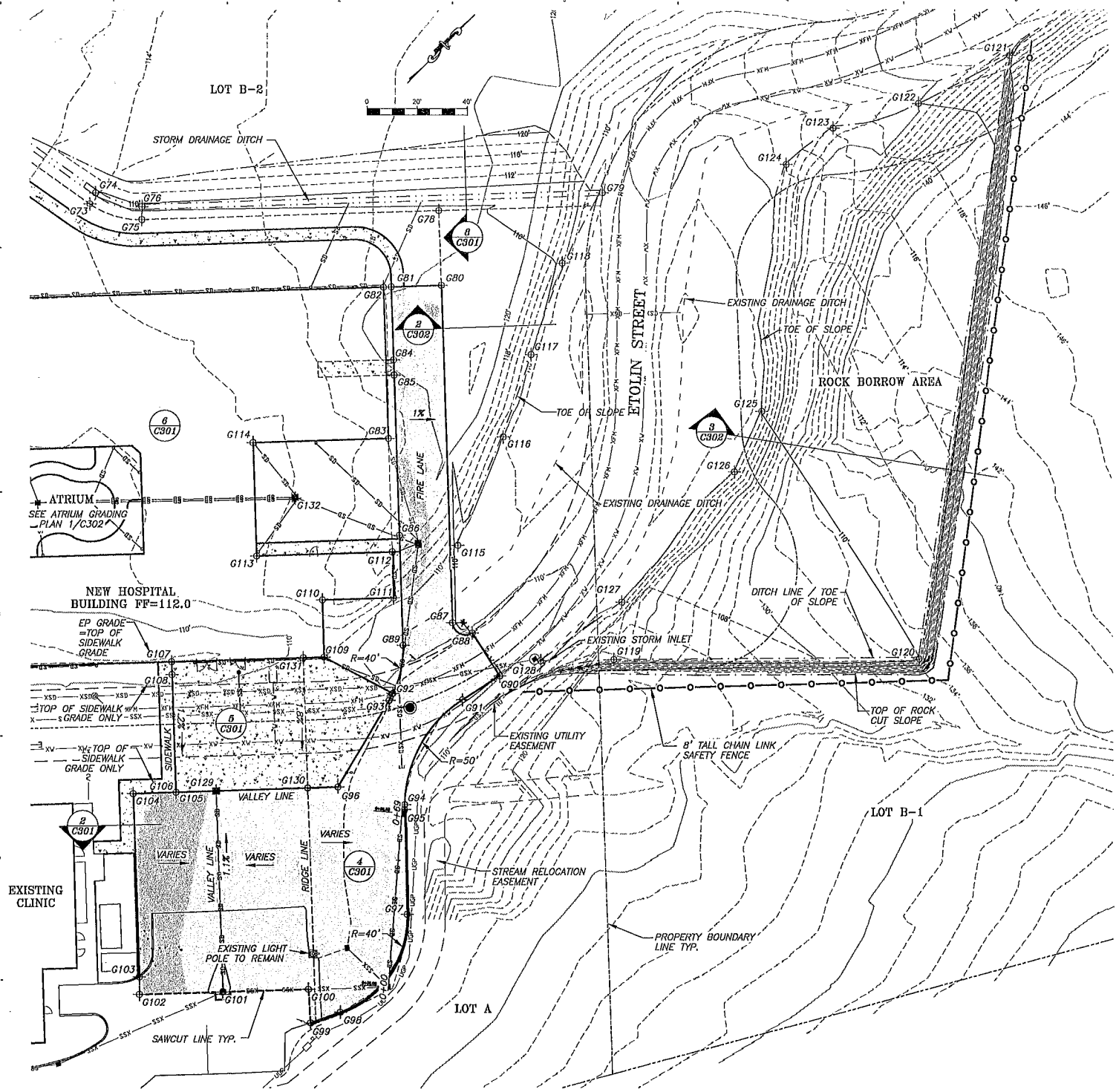
Revisions		
Description	Date	Rev
DATE, FOUNDING & FOUNDATION PACKAGE	02/01/2019	1

Compt: FEBRUARY 2019
Drawn: RRB
Check: TSS
North

Northern Portion
Grading Plan

Scale:

C302



3
C302

TYPICAL BORROW SITE SECTION
NOT TO SCALE

Wrangell Health Campus

232 Wood Street
Wrangell, Alaska 99929

#186019

SEARCHC
3100 Channel Drive, Suite 300
Juneau, Alaska 99801

Wold

WOLD ARCHITECTS
AND ENGINEERS
332 Minnesota Street, Suite W2000
Saint Paul, MN 55101

woldac.com | 651 227 7773

DRAFT



R&M
RAM ENGINEERING-KETCHIKAN, INC.
ENGINEERS GEOLOGISTS SURVEYORS
7180 REVILLA ROAD #300
KETCHIKAN, AK 99901
907-225-7917

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed CIVIL ENGINEER under the laws of the State of ALASKA

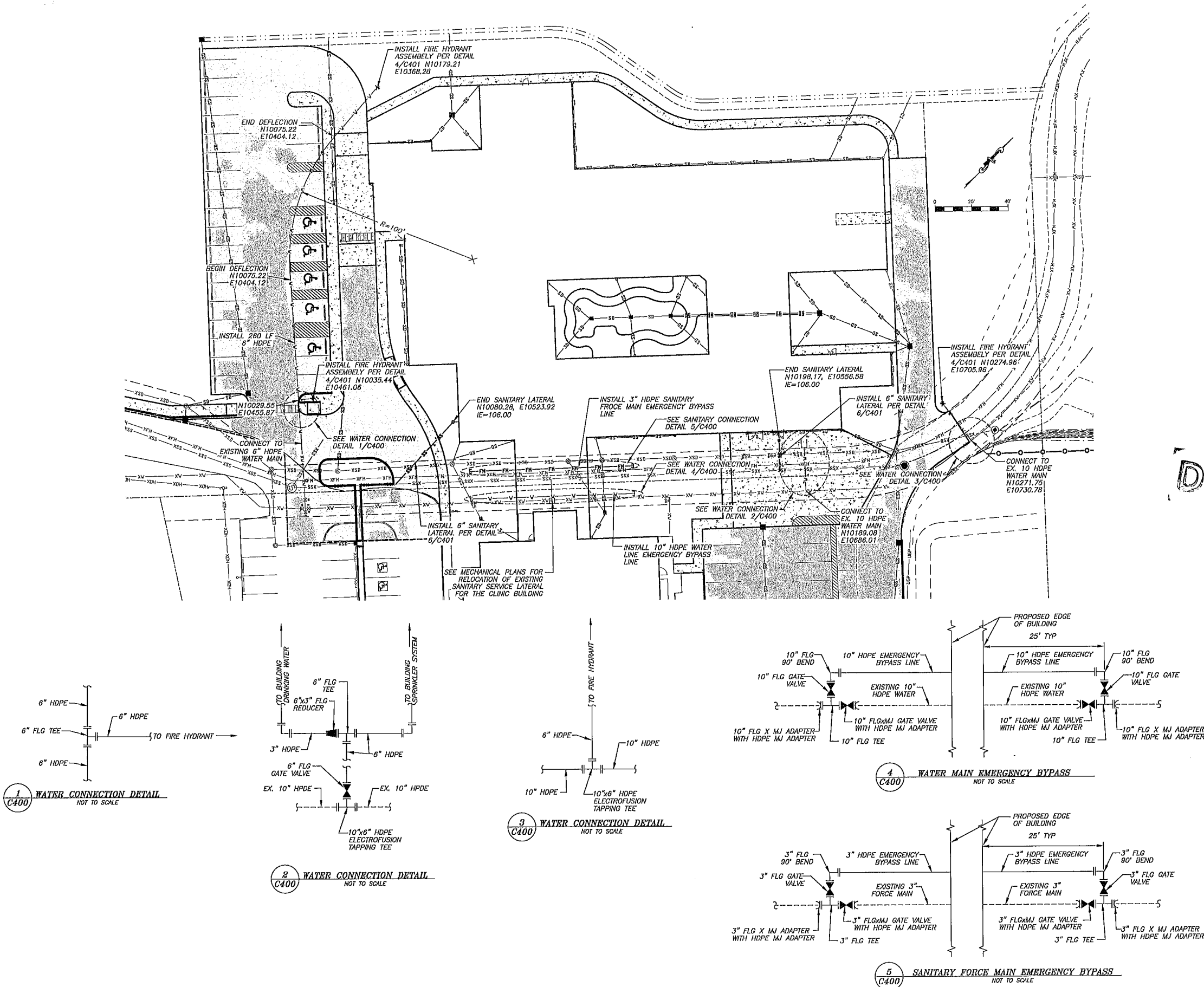
License Number: Robert Badgett Date: 12/31/10
CE 12347

Revisions		
Description	Date	By
SITE, FOOTINGS, & FOUNDATION PACKAGE	02/01/2019	1

Contn: JANUARY 2019
Date:
Drawn:
Check:
North

Site Utility Plan

Scale:
C400



City and Borough of Wrangell, Alaska

Agenda Item G5

Date: January 9, 2019

To: Planning and Zoning Commission

From: Carol Rushmore, Economic Development Director

Re: Land availability for development and rezoning issues

Review

Attached is a summary memo prepared for the Borough Manager regarding land areas available for development and the issues associated with development. The Borough Assembly will be having a worksession prior to their March 26, 2019 meeting to discuss priorities, the issues and provide direction to staff. Part of that conversation will also be potential rezoning needs of the former now cleaned Wrangell Junkyard and the Institute Property. As this will likely be discussed more and more in the near future, I wanted to bring this issue to the Commission for discussion, comments or recommendations.

“LAND” ISSUES UPDATE SUMMARY

POTENTIAL LAND FOR DEVELOPMENT AND SALE AERIAL MAPS ARE ATTACHED

1. Etolin Avenue lots near the new hospital site are in the process of being surveyed and recombined to increase lot size. This will create 3 larger buildable lots. Expect prelim plat in November.
2. Foreclosure lots on corner of Pine and Etolin Avenue. The original sale was comprised of two large lots in one Block, sold together. Foreclosed around 2008 and a IRS tax lien was placed on the property until this year. A Title Report was done on the parcel last Spring. Lot 1 (61000sqft) has frontage on Etolin Avenue could be subdivided, sold in full, or both lots could be sold as a unit together again. Lot 2 (36,000sq ft) if sold separately would need access as it is not located on Etolin Ave. Zoned Multi Family. Utilities near by. In 2017, WMC was working on a grant to build a quadplex on half of Lot 1 located on Etolin Avenue. Moving forward with the application was denied by the Assembly but some initial survey work has been done to subdivide Lot 1 into two lots.
3. Byfords reclaimed junkyard – with the clean up complete, the land will be available to sell or develop soon. Potential options were discussed previously and that information is also attached. It is currently zoned Light Industrial but surrounding uses are Residential. Summarized, it could be sold as one unit or subdivided in various formats with the City providing utilities estimated to be approximately \$250,000 for a full subdivision build-out. Bill Byford wants the property to remain as light industrial because when he sells his lot he is hoping that his shop in the back would be beneficial to a business. I believe the other landowners would like to keep it for residential. Molinek is still interested in purchasing land behind his property and maybe even behind Bill Byfords.
4. Industrial Park: Brett Woodbury is still interested in acquiring the land behind his property in the Industrial Park in exchange for constructing the road. There are others who have also voiced an interest in purchasing industrial lots. The COE permit for the lot development and roadwork was applied for as an extension in Dec 2017. I don't think they completed the renewal. The road Brett envisions constructing is likely not to the standard that the City would want. Additional City land to the north of the new street (6th Ave) could potentially be subdivided and sold. (See also #5 in Developable Land discussion below). The FLAP Mt. Dewey Trail Extension location in or adjacent to a new 6th Avenue must be determined.
5. There are a number of locations where residents have requested that the City put in utilities and roads to their lots so that they can develop them. Areas include between Evergreen and Cassiar; between Evergreen/Airport Loop road and Graves Street near the airport; between Evergreen/Airport Loop and the dump; off Ash Street – where Zimovia Avenue dead ends into

new hospital lot. At this time, we have stated to individuals that the City does not have certain roads high enough on the priority list to be able to put in the access or utilities. In some areas, things have been done piece meal. Assembly might have approved that they put in their own “driveway” access but expenditures for utilities and access were to the landowner. Utilities might also have been scabbed together to access back lots.

6. Spring Street and Meridian Street – this area is directly behind the Evergreen Trailer park but may provide an alternative way to create new lots and access some of the private lots on Cassiar (mentioned in #6 above). We did some preliminary survey work back in 2000 exploring access options to reach inaccessible lots on Cassiar.
7. Institute Property - I hope to put together a bid for Survey services that will include the Institute and the mill yard. The Institute Master Plan alternative 1 option provides the least amount of utility costs and would create ___ lots closest to the Rainbow Falls Trail/Institute Creek. Zoning needs to be developed for the parcel.
8. Are there any other foreclosed lots that could be sold? Aleisha can search MARS/ or she knows?
9. Remote entitlement lands: Only Zarembo property at this time has been transferred in full with a patent to the Borough. I have a request in to DNR to determine if other remote parcels have been surveyed. Zoning uses for each area have been discussed but actual zoning for each parcel still needs to be developed.

DEVELOPABLE LAND

1. Mill property acquisition – negotiations underway. Discussions with prospective users need to happen. Surveys, plan development, infrastructure costs required.
2. Institute property – see discussion #7 above. Surveys, infrastructure costs required. Rezoning needs to be completed.
3. Spring Street/Meridian Street – See discussion #6 above. Surveys, plan development, infrastructure costs required. Rezoning would be required.
4. Byford’s former Junkyard – See discussion #3 above and the attached information.
5. Corner of Pine/Etolin Avenue – See discussion # 2 above. There is also some additional residential lands and a block of Light Industrial just behind this area that might be accessible at the intersection depending on how utilities get to Lot 1 and 2 Foreclosure and if we want to extend further.
6. Industrial Park –If the City constructs the platted 50’ wide 6th Avenue on the north side of the Industrial Park, the road would also provide access to an unsubdivided parcel along the roadway that is currently zoned Holding. Additional lots could be subdivided for sale. Some of that area is VERY wet with drainage channels that would need to be addressed. A COE permit would need

to be obtained with mitigation required. Also, as part of the FLAP program the Borough received a grant to extend Mt. Dewey Trail down the backside and to the USFS office. The trail is currently planned to be adjacent to 6th Ave, but if the City looks at creating additional lots, then we might want to consider moving the trail north to the property boundary line with the State DOT Airport property.

7. Hospital site – SEARHC will be constructing new hospital. It may be that after the construction additional land could be accessible north of the hospital.
8. Wrangell Medical Center - never too early to discuss future use or how to deal with the property once the new one is actually occupied.

ZONING ISSUES

1. Institute Property needs to be zoned appropriate for multiple uses and planned unit development
2. Remote entitlement parcels need to have zoning developed with allowable and conditionally permitted uses.
3. Byford's clean lot needs to have zoning discussed. Keep as Light Industrial or rezone to Rural Residential.
4. Light Industrial lots at corner of Pine and Etolin Ave... could be rezoned to residential. A buffer should be retained between existing LI development and residential.
5. Land by Spring Street and Meridian could be rezoned from Holding to residential.

POTENTIAL LAND DEVELOPMENT AND SALE

1. Etolin Avenue Recombination of lots

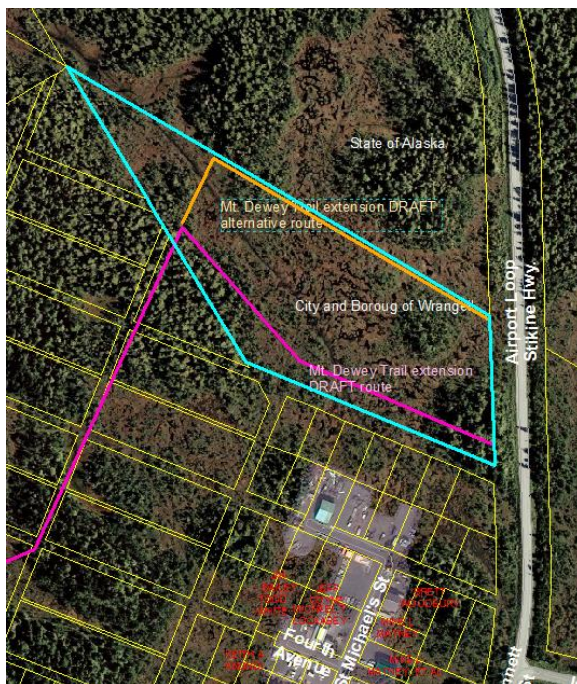


2. Foreclosure Lots

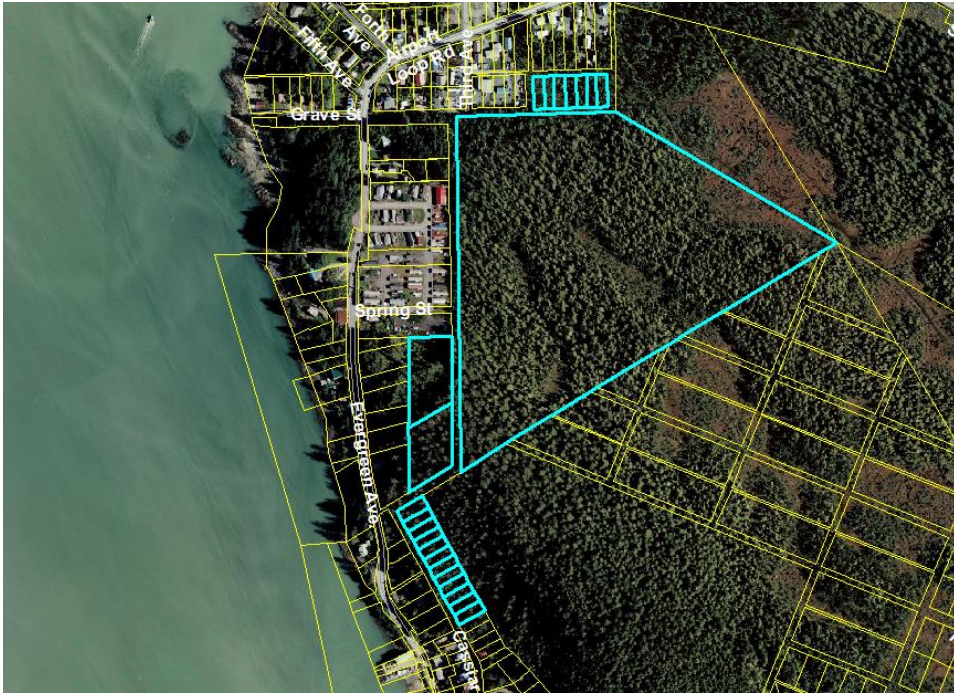


3. Byford's reclaimed junkyard – see attached from previous report

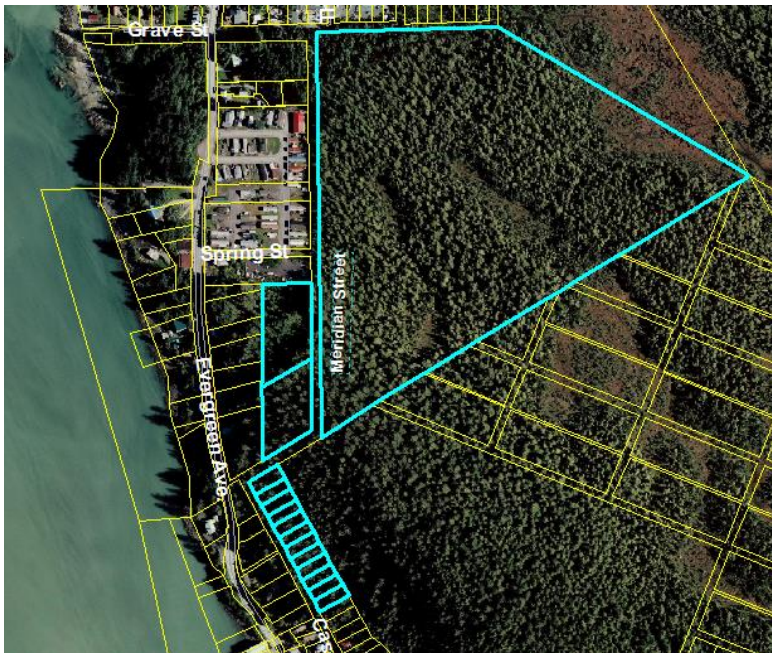
4. Industrial Park



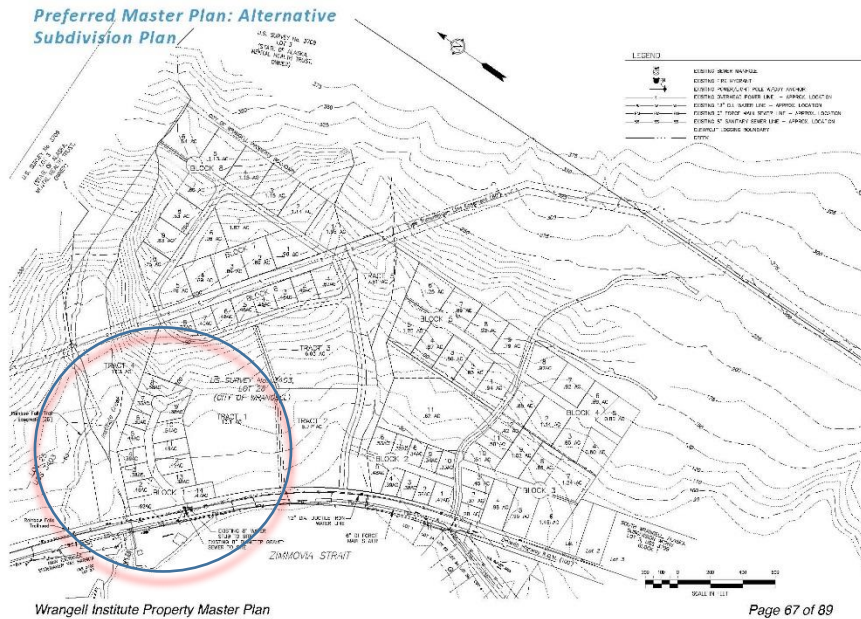
5. Privately owned with no access



6. Spring/Meridian Street



7. Institute Property



City and Borough of Wrangell, Alaska

Date: August 13, 2018

To: Lisa Von Barga, Borough Manager

From: Carol Rushmore, Economic Development Director

Re: Former Junk Yard Site

DEC needs any preference of reasonable site work to be requested by the Borough ASAP in order to get that information to NRC prior to their close-out of the site expected in October. NRC contractual requirements are essentially to leave no hole, no safety issues and no berms. They will be submitting a closing plan to DEC soon, so Sally Schlichting indicated we should present any request to her so they can review and determine if within the scope of work and can modify NRC plan as necessary. They could leave the flat areas if we want where they are loading the bags/trucks, they might be able to beef up an access corridor, but major reconfiguration of the site is not within the scope. Requests should be reasonable.

- The property was cleaned to the highest standard so Residential development is permitted.
- Zoning is Light Industrial
- Lot size is 2.51 acres or 109,355 square feet
- Bob Molinek recently came in to my office to reiterate that they were still interested in purchasing the land directly behind their property, and presented a letter. This would equate to just over 15,000 square feet.
- Bill Byford has voiced an interest in resolving an encroachment issue. A corner of his greenhouse attached to his house encroaches into the property a few feet. He is interested in buying a sliver of land, or getting an encroachment easement where the corner of his greenhouse encroaches onto the subject lot. An easement would be good as long as the greenhouse structure remains as is, but would not be able to be expanded on and if removed, the encroachment easement would no longer be valid. He would also like to be able to continue to use any easement that might be created to access the back portion of his lot.

Some options with maps as to how the Borough could dispose of the property:

Option 1) Subdivide the property There would be 3 rear flag lots in the back (maximum allowed) and one lot in the front with the easement adjacent to Byford lot. The City should put in the sewer and water for each of the lots, and a utility/access agreement that would be recorded with subdivision will spell out how landowners will maintain in the future. See Option 1 map as an example. The lots could be configured in numerous ways. An easement would be required for access and utilities.

Option 2) Subdivide the property into a flag lot subdivision, creating the maximum of 4 lots and sell for residential. This Option differs from Option 1 only in the configuration of the lots. One of the rear lots would be configured in such away as to allow Molinek to purchase the area behind him directly or as part of a bid process. Option 2A just shows a different configuration and there are other lot configuration options as well.

Option 3) Sell the entire parcel as a single sale for residential development and let someone else subdivide or not. A requirement to the sale would be that any further subdivision must provide city sewer and water since the area was cleaned down to clay and filled with rock.

Option 4) Create a 60' wide ROW through the parcel to connect with Mental Health Trust lands to provide an additional access point for future development on their lots. This could create a few different type of subdivided lot configuration, although a variance to the 100' highway frontage for the front lot would be required. The City would be required to construct the road and install utilities.

Option 5) Change the zone for an entirely different use.

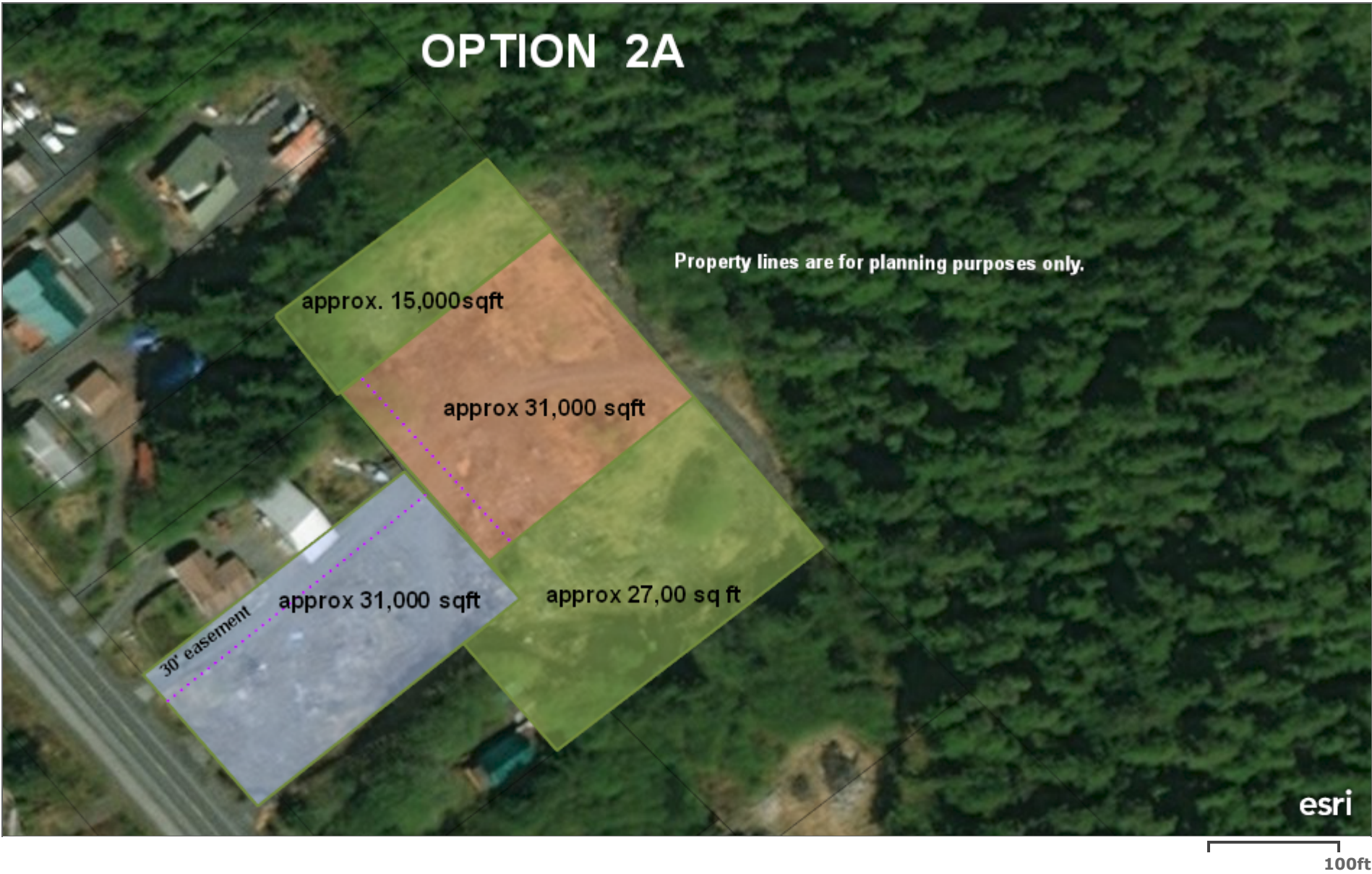
Byford Junkyard: Option 1



Byford Junkyard: Option 2



Byford Junkyard: Option 2A



Byford Junkyard: Option 4



Byford Junkyard: Option 4A



CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ CHAD R. SMITH _____
DATE _____ SHARIL A. SMITH _____

NOTARY'S ACKNOWLEDGMENT

U.S. OF AMERICA
STATE OF ALASKA
CITY AND BOROUGH OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND _____ ACKNOWLEDGED TO ME THAT _____ SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES _____

CERTIFICATE OF APPROVAL BY THE ASSEMBLY

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF WRANGELL ASSEMBLY AS RECORDED IN MINUTE BOOK _____ PAGE _____ DATED _____ 20____ AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX OFFICIO RECORDER, WRANGELL, ALASKA.

DATE _____ TAYOR, CITY AND BOROUGH OF WRANGELL
ATTEST: _____
CITY CLERK _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION
(FIRST JUDICIAL DISTRICTS)

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND AN ACTING ASSESSOR FOR THE CITY AND BOROUGH OF WRANGELL, HEREBY CERTIFY, ACCORDING TO THE RECORDS OF THE CITY AND BOROUGH OF WRANGELL, THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX OFFICIO RECORDER, WRANGELL, ALASKA, AND THAT ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS ARE PAID IN FULL. THAT CURRENT TAXES FOR THE YEAR 20____ WILL BE DUE ON OR BEFORE OCTOBER 15, 20____ DATED THIS _____ DAY OF _____

ASSESSOR CITY AND BOROUGH OF WRANGELL _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF WRANGELL PLANNING COMMISSION AND THAT SAID PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAN RESOLUTION NO. _____ DATED _____ 20____ AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT JUDICIAL DISTRICT, EX OFFICIO RECORDER, WRANGELL, ALASKA.

DATE _____ CHAIRMAN, PLANNING COMMISSION
SECRETARY _____

OWNERSHIP STATUS

1. LOT 3A-1 (CHAD R. SMITH AND SHARIL A. SMITH)

PROPOSED OWNERSHIP

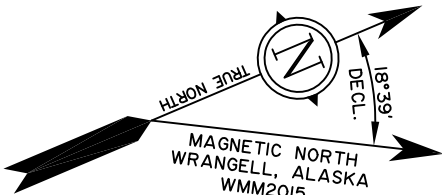
1. LOT 3A-1A (CHAD R. SMITH AND SHARIL A. SMITH)
2. LOT 3A-B (CHAD R. SMITH AND SHARIL A. SMITH)

PREVIOUS LOT AREAS

1. LOT 3A-1 (30,007 SQ. FT)

NEW LOT AREAS

1. LOT 3A-1A (21,179 SQ. FT)
2. LOT 3A-B (8,828 SQ. FT)

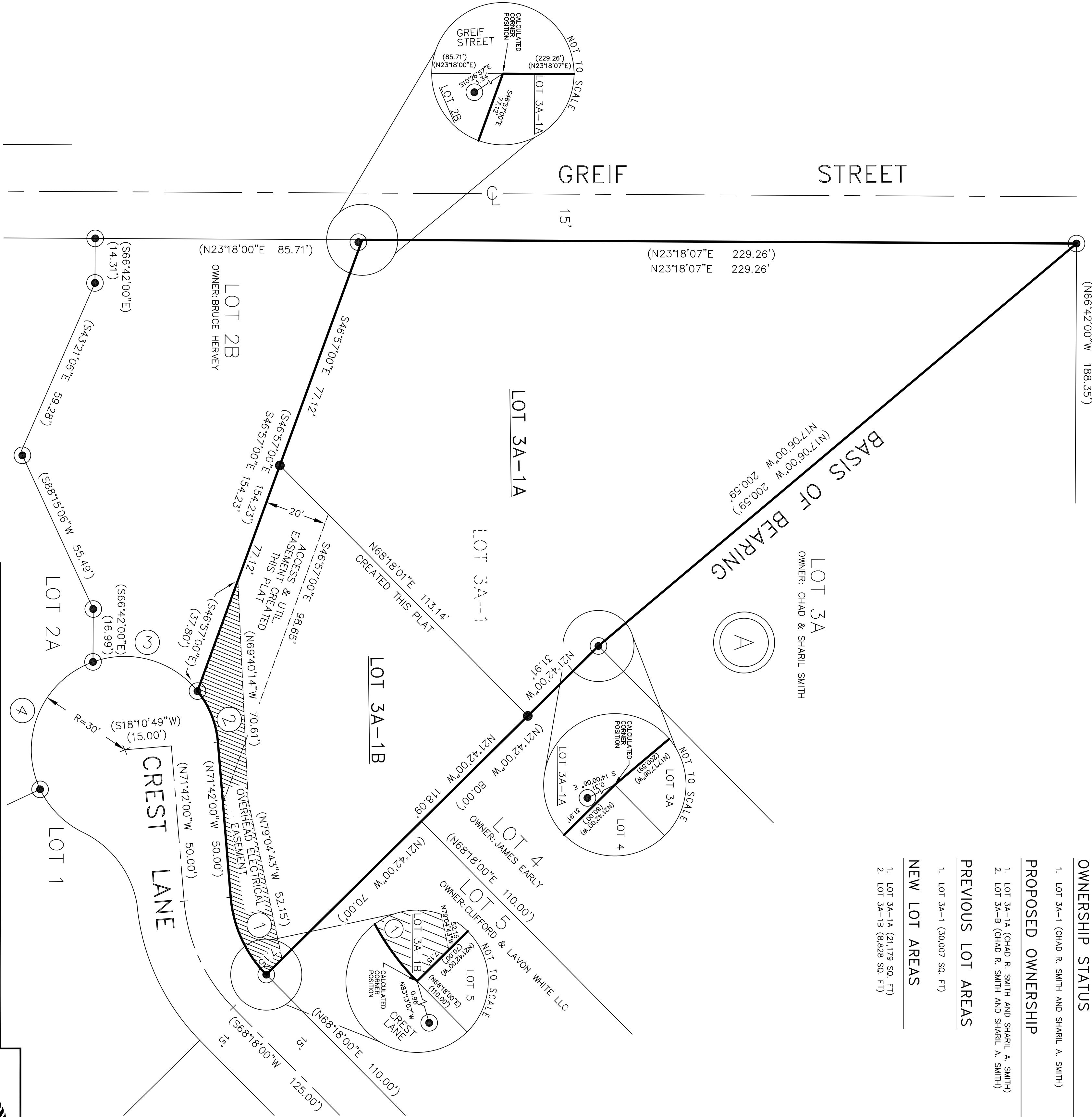
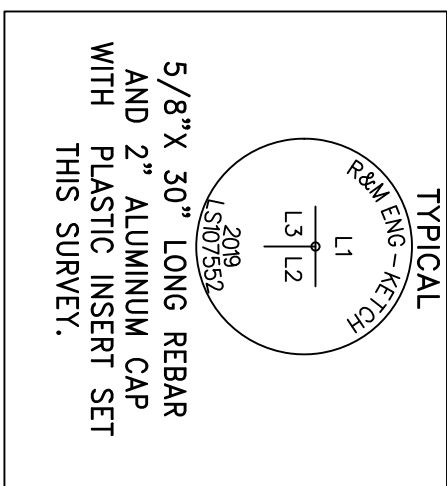


LEGEND

- ALUMINUM CAP ON 5/8 REBAR MONUMENT RECOVERED
- 5/8 REBAR 30" LONG WITH 2" ALUM CAP WITH PLASTIC INSERT SET THIS SURVEY
- DATA OF RECORD (88.09)
- DATA MEASURED OR COMPUTED 88.09
- PREVIOUS PROPERTY LINE
- ROAD CENTERLINE
- OVERHEAD ELECTRICAL EASEMENT

CLIENT: CHAD R. AND SHARIL A. SMITH
P.O. BOX 1741
WRANGELL, ALASKA 99929

DRAWN BY: MCH
CHECKED BY: CQP
DATE PLATED: DEC. 2018
DATE SURVEYED: DEC. 2018
SCALE: 1"=20'
SURVEYED BY: MCH
PROJ. NO.: 182782



CURVE DATA

①	②	③	④
$\Delta = 407'00.00''$ $R = 30.00'$ $L = 272.90'$ $C = 27.34'$ CHD. BRG. = N88°18'00"E	$\Delta = 3471'10.4''$ $R = 30.00'$ $L = 17.90'$ $C = 17.63'$ CHD. BRG. = N88°50'48"W	$\Delta = 705'57.00''$ $R = 30.00'$ $L = 37.15'$ $C = 34.82'$ CHD. BRG. = N38°34'51"E	$\Delta = 95'09.33''$ $R = 32.04'$ $L = 44.29'$ CHD. BRG. = S44°28'26"E

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN _____ 2018 / 2019 A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE _____ 2 / 2019

CHRISTOPHER G. PEURIN LS 107552

PLAT NOTES

- THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE LOT 3A-1 INTO TWO LOTS, CREATING LOTS 3A-1A AND 3A-1B, BLOCK A, 5 STAR FISH SUBDIVISION, WITHIN THE CITY & BOROUGH OF WRANGELL, FIRST JUDICIAL DISTRICT, STATE OF ALASKA.
- REFERENCE THE FOLLOWING WITHIN THE WRANGELL RECORDING DISTRICT:
PLAT 77-5
PLAT 99-10 (MYERS / ROBERTS REPLAT AND SUBDIVISION)
DEED 2012-000105-0
- REFERENCE ALASKA ESCROW AND TITLE INSURANCE AGENCY, INC. CERTIFICATE TO PLAT FILE NO. 56286.
- ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE BASIS OF BEARING AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
- THE ERROR OF CLOSURE DOES NOT EXCEED 1:5000.

VICINITY MAP:
SCALE: NOT TO SCALE



WRANGELL RECORDING DISTRICT

No.	Date	Description



RSM ENGINEERING-KETCHIKAN, INC.
7160 REVILLA ROAD, SUITE 300
KETCHIKAN, AK 99901
WRANGELL OFFICE
P.O. BOX 701
WRANGELL, AK 99929

Phone: (907) 225-7917
Fax: (907) 225-3441
Phone: (907) 305-0820

5 STAR FISH SUBDIVISION

A SUBDIVISION OF LOT 3A-1, MYERS / ROBERTS REPLAT AND SUBDIVISION, PLAT 99-10, CREATING LOTS 3A-1A AND 3A-1B, BLOCK A, 5 STAR FISH SUBDIVISION, CITY AND BOROUGH OF WRANGELL, FIRST JUDICIAL DISTRICT, STATE OF ALASKA.